

ADDENDUM NO. 1
TO THE BID DOCUMENTS FOR:

JEFFERSON PARISH SHERIFF'S OFFICE
WAREHOUSE TORNADO REPAIRS
1801 WESTBANK EXPRESSWAY
HARVEY, LOUISIANA 70058

JEFFERSON PARISH SHERIFF'S OFFICE

Jefferson Parish Bid No.: 23-JULY-1701

N-Y Project No.: 21023

JULY12, 2023

I. SCOPE:

1. **Addendum No. 1** is issued in accordance with the provisions of the general specifications for the referenced project and is now considered to be an integral part of those original plans, specifications and contract documents.

This addendum contains the following items:

Drawings.

Specifications.

Approved Substitutions.

Requests for Information

II. GENERAL:

1. A Link to Remediation Contractor's Website is provided as follows:
<https://www.dropbox.com/sh/gspgkb8o4draia9/AACmjKv4Qh3mGz387dG6uzSCa?dl=0>
2. Add Column Repairs to Scope of Work at Columns 2J (SK2), and 8H (SK3) per Robert Bouchon Sketches attached to this Addendum.
3. See revision to provide **Bolted Connection Detail** per Robert Bouchon Sketch (SK1) attached to this Addendum.

III. DRAWINGS

1. **Sheet A-2.3:** Delete Reference to **Door 3** and **Window A** at **Laundry 103**. Demo **Aluminum Storefront**. At **Property & Evidence Office 101**, and **Laundry 103**. See **New Sheet A-2.4**.
2. **Sheet A-12.2:** Omit Reference to "Existing Aluminum Storefront to Remain" on Elevation 2/A12.2 at **Laundry 102**.
3. **Sheet A-2.4:** Add **New Sheet A-2.4**. **Sheet A-2.4** clarifies the Demolition Work for removal of the Existing Aluminum Storefront at the Property & Evidence Office, and Washroom. Add two **New Exterior Hollow Metal Doors Type 4**, **Hollow Metal Door Frame Type 2**, and **Hardware Set 4**, with reference to **Details 10, 11 & 12/A-7.6**.
4. **Sheet A-4.1 (Building Letters):**

Omit Notation on Detail 4/G-4.1 "EXISTING SIGNAGE, TYP." "PATRICK F. TAYLOR FIRING RANGE."

Omit Notation on Detail 4/A-4.1 "NEW DIMENSIONAL LETTER SIGNAGE, TYP., indicated "PATRICK F. TAYLOR FIRING RANGE."

Owner will provide New Dimensional Signage.
5. **Sheet A-7.8:** Add **New Sheet A-7.8**. Replace Plywood and 2x Wood Sub-Framing. General Contractor to remove and replace all Plywood and 2X Wood Sub-Structure on the Existing Baffles to access the existing metal surfaces to be sandblasted. For purposes of Bidding, include 2x4 Wood Sub-Framing along each line shown on the Baffles, as shown on Sheet A-7.8, and 1/2" Plywood on the Bottom Face of the Baffle. Also See Building Section Detail 2/A-5.3. Paint Flat Black. Apply 12"X12" Acoustical Tiles on the Bottom Surface of the Plywood with Adhesive. Paint Acoustical Tiles Flat Black.

6. **(All Sheets - Fire Extinguishers):** All Fire Extinguishers shown on the Drawings shall be by the Owner. Contactor need only to Relocate one Fire Extinguisher Cabinet where directed by the Architect in the firing Range.

IV SPECIFICATIONS:

1. **Instructions to Bidders:**

Amendment to 00200 Instructions to Bidders.

Add the following new paragraph immediately after the paragraph entitled **Insurance Requirements:**

Total Bid Price Must Include the Cost of Naming the Law Enforcement District as Additional Insured: Bidder acknowledges that Bidder recovered the cost of any required insurance in the contract price as required by La.R.S. 9:2780.1 and that Bidder recovered any such cost for the purposes of insuring an obligation to indemnify the Law Enforcement District, defend the Law Enforcement District, or hold the Law Enforcement District harmless and that Bidder's indemnity liability is limited to the amount of the proceeds that are payable under the insurance policy or policies that Bidder has obtained.

2. **Section 00655 Supplementary Conditions:** Add the following paragraphs:

SC-5.04.

Add the following new Paragraph D at the end of Paragraph 5.04:

D. Pursuant to La. R.S. 9:2780.1, the cost of such insurance required to be purchased and maintained by CONTRACTOR as provided herein or in the Supplementary Conditions shall be included in the Contract Price.

SC-6.20.

Add the following new paragraph immediately before Paragraph 6.20 B:

Pursuant to La. R.S. 9:2780.1 and Paragraph 5.04 of the General Conditions, CONTRACTOR acknowledges that CONTRACTOR is required to obtain insurance for the purpose of insuring its obligation to indemnify, defend, and hold harmless the Indemnitees as described above, and CONTRACTOR acknowledges that CONTRACTOR has recovered the cost of such insurance in the Contract Price.

SC-14.04.

Add the following new paragraph D immediately after Paragraph 14.04 C:

D. To the extent applicable, the requirements of La. R.S. 38:2248 B. 2. shall be met.

SC-14.05.A.

Insert the following new language at the end of Paragraph 14.05.A.2 before the last period:

... and, to the extent applicable, the provisions of the last sentence of La. R.S. 38:2241.1 C.

Add the following new paragraph immediately following Paragraph 14.05.A.3:

4. To the extent applicable, the requirements of La. R.S. 38:2248 B. 2. shall be met.

3. **Section 099653: Add Section 099653 - Elastomeric Coatings.**

V. APPROVED SUBSTITUTIONS:

1. See GVA Letter for Approved equals, attached to this Addendum.

VII. QUESTIONS ANSWERED

1. Tuna Construction Request for Information is attached to this Addendum.

End of Addendum No. 1

Attachments:

Industrial Louver Cut Sheets Approval
Pre-Bid Meeting Agenda and Minutes
Pre-Bid Meeting Sign-In Sheet
Specification **Section 099653 - Elastomeric Coatings**
RFI from Tuna Construction with Answers.
Robert Bouchon Response Addendum Letter with Attachments
GVA Addendum Letter
3D Construction Request for Substitution
New Sheet A-2.4 Floor Plan - Property & Storage
New Sheet A-7.8 Reflected Baffle Plan

PRE-BID MEETING AGENDA MINUTES

Date: June 29, 2023

Time: 10:00 a.m. CDT

Meeting Minutes are in "red."

1. Introduction of Key Personnel
 - A. Sean Lusk, Deputy Chief, JPSO
 - B. Byron Champagne, Owner's Representative, JPSO
 - C. Craig Cimo, Director of General Services, JPSO
 - D. Michael Buisson, N-Y Associates, Inc.
 - E. Michael Schmidt, N-Y Associates, Inc.
 - F. David Code, GVA Engineering
 - G. Karen Leonard, JPSO

3. Review of Contract Requirements

This is a Mandatory Pre-Bid.

All Pre-Bid Attendees must sign-in on the Sign-In Sheet to qualify to submit a Bid.

4. Plan Rooms with Bid Documents

- A. JPSO.com
- B. centralauctionhouse.com

Paper copies of plans may also be obtained from the Architect with a deposit of \$200. This deposit is refundable for the first two sets when plans are returned in good condition.

All Electronic Bid Documents are available on-line.

5. Review of the Scope of Work

- A. Review of Advertisement for Bid

1. Construct a new roof structure consisting of new structural steel beams, columns, joists, and metal decking.

The Existing Construction has an original Flat Roof with a newer Sloped Pre-Finished Metal "Retrofit" Roof above the original Membrane Roof.

The original Membrane Roof will generally remain, and must be kept water-tight during the course of the Construction. All required penetrations into the original Membrane Roof will be filled with Spray-Foam Insulation in the new Construction

Approximately one half or more of the newer Retrofit Roof has been torn off by a Tornado from past midpoint of the Roof to the South end of the Building. The remaining exposed Membrane Roof is covered by a temporary TPO Roof Membrane that will be removed in the New Construction.

2. Supply and install a new metal roof system consisting of new Zee Lock standing seam metal roofing over a peel and stick ice and water shield on dens deck board.

The Sloped Pre-Finished Retrofit Metal Roof will be removed in its entirety and replaced with an all new Sloped Pre-Finished Retrofit Roof, and Roof Structure as detailed on the Drawings.

3. Supply and install new formed metal panel soffits and fascia wall panels per the drawings.

Provide all New Gutters and Downspouts, Fascia, and Trim.

4. Supply and install new HVAC units over the existing shooting range per the MEP drawings.

Shooting Range:

All original Ductwork has been generally removed in its entirety. Provide all new Ductwork per the Drawings and Specs.

Provide New Chillers.

5. Renovate the interior office area of the shooting range per the drawings.

Shooting Range Offices:

Provide New Lighting Fixtures. Existing Suspended Ceiling Grid to generally remain.

Provide New Gypsum Board to 2' above the Finished Floor.

Minor Interior Wall Demolition per Drawings.

Minor Interior New Walls, New Wall Finishes, Doors, New Overhead Coiling Door, and Windows, per Drawings.

Existing Floor Finishes to generally remain. New Floor Finishes per Drawings.

6. Construct a new washroom in the existing Warehouse per the drawings.

Washroom:

All New Washroom, Men's and Women's Shower Rooms.

B. Discussion of Specific Scopes of Work

1. This is a functioning building and will remain so. All roofing needs to be closed in at the end of each day. Temporary tarps need to be on hand in case of pop-up showers. Welding must be done over welding blankets with fire watches. All items need to be covered under areas when open to the elements and all schedules must be coordinated with the JPSO.

Owner's Existing Training Academy, and Property & Evidence Warehouse will be in use for the Owner's normal operations during the course of the Construction.

The Property & Evidence Warehouse is a "Restricted Area." Coordinate access to the Property & Evidence Warehouse with JPSO.

The Shooting Range is not occupied, however the Owner's Equipment, and Contents will remain during the course of the Construction.

Protect the Contents stored in the Property and Evidence Room with Tarps against Dust and Water Intrusion during Rain Events, and with Welding Blankets during Welding operations against Sparks and Fire.

Provide a Fire Watch during all Welding Operations.

C. Substantial Completion Time and Liquidated damages

1. The Work will be substantially completed within 275 days and completed and ready for final acceptance within 45 days after the date of Substantial Completion. This time allocation allows for 73 days of lost production due to inclement weather. Liquidated damages will be assessed in the amount of \$500 per calendar day for each and every day over that time.

The Chillers for the Firing Range are excluded from Liquidated Damages. The Owner will use the Existing Chillers until delivery of the New Chillers.

The Chillers must remain in operation at all times.

HVAC for the Training Academy and Property & Evidence must be in operation at all times during the Construction.

2. Phase 1 of the work is comprised of all work in and above the firing range. That work is to be completed in the first 6 months of the job to allow that area to be opened to deputies.

6. Important Dates:

- A. Pre-Bid Meeting: Thursday, June 29, 2023 at 10:00 a.m. CDT

This is a Mandatory Pre-Bid.

Sign-in on the Sign-In Sheet.

Write legibly.

- B. Last Day for Questions: Monday, July 3, 2023 (10 working days prior to bid) at 2:00 p.m. CDT

These are Hard Deadlines.

Questions submitted after these Dates will not be answered.

- C. Last Day for Substitution Requests: Thursday, July 6, 2023 (7 working days prior to bid) at 2:00 p.m. CDT

- D. Last Day for Addenda: Wednesday, July 12, 2023 (72 hours prior to bid – excluding weekends and holidays) at 2:00 p.m. CDT

- E. Bid Date: Monday, July 17, 2023 at 2:00 p.m. CDT at JPSO, 1233 Westbank Expressway, @nd Floor Conference Room, Harvey, LA 70058

Bids may be Submitted either Hand-Delivered or Electronically.

Fill-In all required Information completely.

See Instructions to Bidders in the Specifications.

7. Status of Permits:

A. State Fire Marshal: Applied For

B. Jefferson Parish Safety and Permits: Applied For

There will be a Walk-Thru following the Pre-Bid Meeting today.

A Ladder is available to get onto the Roof.

8. Questions:

Question: What is the Existing Construction of the Membrane Roof?

Answer: The Existing Membrane Roof Deck is Light-Weight Concrete over Metal Roof Deck on Steel Joists. Cut through the Existing Membrane Roof to expose the Existing Steel Joists for attachment of the New Roof Structure. Seal all Penetrations with Spray-Foam Insulation.

Question: Are there detailed Welding Specs?

Answer: Yes. Welding Specifications are in the Project Manual.

Question: Are the Existing Clips from the Existing Retro-Fit Roof to the Steel Joists f required to be completely removed and Waterproofed?

Answer: Clips may remain if they do not interfere with the New Construction. Temporary Waterproofing is required.

Question: Are there Existing Photos available to the Bidders?

Answer: There is Drone Footage that can be made available to the Bidders on "Drop-Box."

Question: Will Protection be required?

Answer: Provide Protection at the end of each Work Day and during Rain Events.

Question: What is the Budget?

Answer: The Budget is between \$5 to \$6 million.

Pre-Bid Meeting Adjourned.

Job Site Walk-Thru

Property & Evidence Warehouse:

Contents stored in the Property & Evidence Warehouse was Reviewed.

A Fire Watch is required during Welding Operations.

Protect Contents with Tarps, and with Welding Blankets during Welding Operations.

The Property & Evidence Warehouse is a Restricted Area. Coordinate Access with JPSO.

Washroom:

Area for the Washroom was Reviewed.

Existing Aluminum Storefront to be demo'd, and New Brick Infill was Reviewed.

There is an additional Damaged Column that will be addressed by Addendum.

SWAT Training & Warehouse:

Contents store in the SWAT Warehouse was Reviewed.

Boiler Room:

Existing Boiler Room Reviewed.

Firing Range Office Area:

Existing Office Area Reviewed.

Demo Minor Wood Stud Walls, Plywood Decking, complete (Shown on Drawings).

Gypsum Board is removed 2' above the existing floor to be replaced, and re-finished.

Existing Light Fixtures Reviewed.

Existing Suspended Acoustical Ceiling Tile has been removed, and to be replaced.

Existing Suspended Ceiling Grid to Remain.

Demo all Obsolete 12' Long Fluorescent Fixtures mounted to the underside of the Existing Metal Roof Deck complete. (Note: These Fixtures are Energized.)

Firing Range:

Baffles Reviewed. Sandblast, and Chemically remove all Rust, all Columns and Other Steel. Re-Finish with New Painted Finish. Protect the Existing Floor Finish when Sanblasting.

Replace Plywood and 2X Wood Blocking on Baffles complete (currently Not In Scope of Work). This will be issued by Addendum.

No work on the Existing Floors is currently in the Scope of Work.

Exterior:

Mechanical Equipment Yard:

Existing Chillers Reviewed.

Roof:

Ladder to Roof Provided for Bidders.

Other:

Option for Connection to Steel Joists such as Bolted Connections, in lieu of Welded Connections, will be considered.

Proposals to be Reviewed and Approved by the Structural Engineer.

Will be addressed by Addendum.

Testing:

All required Testing "By Owner."

Testing will be addressed by Addendum.

End of Job Site Walk-Thru



Mandatory Pre-Bid Conference – SIGN-IN SHEET

Time: 10:00 am
Location: Jefferson Parish Sheriff's Office
1801 West Bank Expressway,
Harvey, LA 70058
JPSO Bid No: 23-JULY-1701

(Attendees are to confirm their information and initial next to their name)

[illegible]

06-29-2023

PAGE 2 OF 2

SECTION 099653 – ELASTOMERIC COATINGS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes surface preparation and application of elastomeric coatings to the following exterior substrates:
 - 1. Stucco.

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
 - 1. Indicate VOC content.
- B. Samples for Initial Selection: For each type of acrylic / elastomeric coating.
- C. Samples for Verification: For each type of acrylic / elastomeric coating indicated and in each color and gloss.
 - 1. Submit Samples on same type of substrate as that to receive application, 8 inches (200-mm) square.
 - 2. Apply coats on Samples in steps to show each separate coat, including primers and block fillers as applicable.
 - 3. Label each coat of each Sample.
 - 4. Label each Sample for location and application area.
- D. Product List: Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in schedules. Include color designations.

1.4 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 - 1. Quantity: Furnish an additional 5 percent but not less than 1 gal. (3.8 L) of each material, color, and texture applied.

1.5 QUALITY ASSURANCE

- A. Mockups: Apply mockups of each paint system indicated and each color and finish selected to verify preliminary selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Architect will select one surface to represent surfaces and conditions for application of each paint system.
 - a. Vertical and Horizontal Surfaces: Provide samples of at least 100 sq. ft (9 sq. m).
 - b. Other Items: Architect will designate items or areas required.
 - 2. Final approval of color selections will be based on mockups.
 - a. If preliminary color selections are not approved, apply additional mockups of additional colors selected by Architect at no added cost to Owner.
 - 3. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
 - 4. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F (7 deg C).
 - 1. Maintain containers in clean condition, free of foreign materials and residue.
 - 2. Remove rags and waste from storage areas daily.

1.7 FIELD CONDITIONS

- A. Apply coatings only when temperature of surfaces to be coated and ambient air temperatures are between 50 and 90 deg F (10 and 32 deg C) unless otherwise permitted by manufacturer's written instructions.
- B. Do not apply coatings in snow, rain, fog, or mist; when relative humidity exceeds 85 percent; at temperatures less than 5 deg F (3 deg C) above the dew point; or to damp or wet surfaces.
- C. Allow wet surfaces to dry thoroughly and attain temperature and conditions specified before starting or continuing coating operation.

1.8 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace acrylic / elastomeric coatings that fail within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Water penetration through the coating.
 - b. Deterioration of coating beyond normal weathering.
 - 2. Warranty Period: Ten (10) years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Basis of Design: Sealmark #2300 Restoration Coating.
- B. Prior Approved Equal.

2.2 MATERIALS

- A. MPI Standards: Products shall comply with MPI standards indicated and shall be listed in its "MPI Approved Products List."
- B. Moisture-Vapor Transmission: Average Perm Rating 1.57 based on testing according to ASTM E - 96.
- C. Material Compatibility:
 - 1. Materials for use within each paint system shall be compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
 - 2. For each coat in a paint system, products shall be recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
- D. Colors: As selected by Architect from manufacturer's full range
- E. Crack Fillers: Elastomeric coating manufacturer's recommended, factory-formulated crack fillers or sealants, including crack filler primers, compatible with substrate and other materials indicated.
- F. Primer: Elastomeric coating manufacturer's recommended, factory-formulated, alkali-resistant primer compatible with substrate and other materials indicated. Basis of Design Sealmark #2000 Primer.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with manufacturer's requirements for maximum moisture content, alkalinity, and other conditions affecting performance of work.
- B. Begin coating only when moisture content of substrate is 12 percent or less when measured with an electronic moisture meter.
- C. Verify that substrate is within the range of alkalinity recommended by manufacturer.
- D. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.
- E. Begin coating application only after unsatisfactory conditions have been corrected and surfaces are dry.

3.2 PREPARATION

- A. Comply with manufacturer's written instructions applicable to substrates and coating systems indicated.
- B. Remove hardware and hardware accessories, plates, machined surfaces, light fixtures, and similar items already installed that are not to be coated.
 - 1. After completing coating operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
- C. Clean substrates of substances that could impair bond of coatings, including dirt, oil, grease, and incompatible paints and encapsulants. Do not coat surfaces if moisture content or alkalinity of surfaces to be coated exceeds that permitted in manufacturer's written instructions.
 - 1. Remove incompatible primers and reprime substrate with compatible primers as required to produce coating systems indicated.
 - 2. Perform cleaning and coating application so dust and other contaminants from cleaning process will not fall on wet, newly coated surfaces.
- D. Crack Repair: Fill cracks according to manufacturer's written instructions before coating surfaces.

3.3 APPLICATION

- A. Apply acrylic / elastomeric coatings according to manufacturer's written instructions.
 - 1. Use equipment and techniques best suited for substrate and type of material being applied.

2. Coat surfaces behind movable items the same as similar exposed surfaces.
 3. Apply each coat separately according to manufacturer's written instructions.
- B. Primers: Apply at a rate to ensure complete coverage.
- C. Elastomeric Finish Coat(s): The minimum coverage rate is 265 sq ft per gallon. This should yield a 6 mil wet film thickness. Two coats at the above coverage rate in conjunction with the #2000 Primer are required..
- D. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats similar to color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- E. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform finish, color, and appearance.
- F. Apply coatings to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.
- G. Apply coatings to prepared surfaces as soon as practicable after preparation and before subsequent surface soiling or deterioration.
- H. Spray Application: Use spray equipment for application only when permitted by authorities having jurisdiction. Wherever spray application is used, do not double back with spray equipment to build up film thickness of two coats in one pass.

3.4 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. After completing coating application, clean spattered surfaces. Remove spattered coatings by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from coating application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities, touch up and restore damaged or defaced coated surfaces.

END OF SECTION 099653



Pre Bid Request for Information

Submitted By: Tuna Construction, LLC

1. **General Conditions Article 1, Subparagraph 1.01** states reference and use of AIA A201-2007. However AIA A201 was updated in 2017 which includes new defined terms and other provision changes. Please advise and clarify which AIA A201 version will be used for the administration of the Prime Contract Documents. *Use the AIA A201-2007 as referenced for the defined terms listed in 1.01. The 1996 edition of the General Conditions prepared by the Engineers Joint Contract Documents Committee provided in the specification will be used for the Contract Administration.*
2. **General Conditions Article 3, Subparagraph 3.01, D** states precedence of Contract Documents in the event of discrepancy. The order provided states "Specifications" precede the "Drawings", however as noted and itemized below there are several discrepancies and omissions in the Specifications but "notations & references" only shown on the Drawings (*example: concrete shown on drawings no specs for this division included; fire extinguisher referenced on drawings but no spec included; signage referenced on drawings but no specifications included*). *Fire Extinguishers and Signage will be owner supplied, there is no concrete required. Delete the references to these sections.*
3. **General Conditions Article 4, Subparagraph 4.06** references Hazardous Environmental Condition at Site, please clarify the following:
 - a. Age of existing structure *Approximately 65 years old.*
 - b. Copy of any/all previous hazardous material testing reports conducted on the building or elements of the building (insulation, tiles, adhesives, duct wrap, pipe wrap, etc). *No testing reports are available.*
 - c. Contractor is not licensed to identify or test "suspect" materials is there an allowance for this in the project or is Contractor to provide pricing? *Owner has an Environmental Testing Company on retainer if any suspect materials are encountered during construction he will call them out to test.*
4. **General Conditions Article 6, Subparagraph 6.10** references taxes..Is the project Tax exempt? Please advise. *Yes, it is tax exempt.*



5. **Instructions to Bidders** references Davis Bacon wage rates and certified payroll, please advise if this is a requirement. **This is not a requirement, delete this reference from the specifications.**
6. Are there any Unit Costs items? **No.**
7. Due to storage of property & evidence what are the Security compliance requirements for the project??? Badging? Background checks? **The only requirement is JPSO needs to have an employee present while work is taking place in the property and evidence storage. Coordinate all work in that area with JPSO.**
8. **General Conditions Article 12, Subparagraph 12.01, C, 1 – states** "mutually acceptable fixed fee", please clarify?? Also please reference Question #2 above. GC's precede Specifications, are we to discuss and submit an OH & P for approval of follow the AIA A201 %'s??
This is a fixed amount submitted in a Change Order proposal by the General Contractor. O, H, & P will be discussed and submitted as a part of the Change order submittal.
9. **Sheet T1.3 Scope of Work, Demolition references "Phase 1"** work in the firing range must be completed in the first 6 months of the job including roofing, int reno, hvac, and electrical, new chillers...Please confirm the following:
 - a. A Phasing Plan is not referenced in Specifications please provide further information; **As indicated in the drawings, this portion of the work should be done first withing the first 6 months of the job to allow JPSO to occupy that area first.**
 - b. Sheet T1.3 notes states "no liquidated damages associated with delivering this chillers beyond the phase"...will a partial Substantial Completion be issued at the end of the phase? **Yes** With Final issued after chiller install (if applicable)? **Yes**
 - c. Will Owner accept "Care, Custody & Control" of building with Substantial Completion for the install of the Chiller??? **Yes, the owner will accept the building at Substantial Completion.** as Contractor will need to maintain Builder's Risk & OCP policies to protect during chiller installation.
10. The structural steel specification includes AISC certification. Can this qualification be waived? Please advise. **See attached letter from Robert Bouchon.**
11. Will a materials testing lab be required on this project. Is so, who is responsible for selecting and paying for testing services? Please advise. **Yes, owner will provide.**



12. Sheet T1.3 / Demolition / note 1 states that the new chillers will not be installed until they are available and will not be subject to any liquidated damages for the work. We can only locate this note in the drawings and not in the project manual. Please confirm that this is accurate, and that substantial completion can be granted without receipt and installation of the two new chillers. Please advise. **This is correct.**
13. Sheet T1.3 / Demolition / note 6 states to cut the gyp board to 2' above finished floor. At the site visit it looked that most of this scope was done by a remediation subcontractor. Can a plan be issued to identify how much of this scope is remaining?

All existing walls in the Administrative Area are already cut to 2' above the finished floor by the Mitigation Contractor. The Scope of Work includes replacing 2' of Gypsum Board above the Finish Floor, and Refinishing the Full-Height of the Walls with new Painted Finish.

- a. Provide copies of any testing reports and clearances.

There are no testing reports or clearances, the building was dried within hours after the tornado event. The following link has all information of the remediation contractor's work:

<https://www.dropbox.com/sh/gspgkb8o4draia9/AACmjKv4Qh3mGz387dG6uzSCa?dl=0>

14. Sheet T1.3 / Renovation / note 4 states that all exterior precast concrete panels need to be recoated with elastomeric coating. This coating is not noted on the elevations. The drawing sheets only call for recaulking the joints between panels. Please confirm that the coating is required and if so, please provide a Specification for elastomeric coating.

All Pre-Cast Concrete Walls Panels are required to be prepared and Re-Coated with New Elastomeric Coating.

Re-Caulk all Joints in Pre-Cast Wall Panels with Polyurethane Sealant.

15. Sheet T1.3 / Renovation / note 5 states to remove existing canopy, post, canopy footings, bollards and bollard footings. Are there details of the existing paving to be replaced? Specifications?



No Existing Drawings are available. The existing paving is asphalt paving.
Bollards are 8"X8"X 42" High and are spaced 62" center to center.
Spacing of Canopy Posts are 4"X4" Tubes, spaced 12' center to center. VOJ in Field.

16. Sheet T1.3 / Renovation / note 6 states to restripe misc. portions of the parking lot. Please provide more detail of this scope and a Specification for the striping.

New Scope of Work for Striping is shown on Sheet A-1.1. Provide for Striping 11 New Parking Spaces and 11 New Pre-Cast Wheel Stops.

17. Has the parish engaged a firm to perform a hazardous materials survey on the property prior to the solicitation of this project? If so, can this be issued via addendum? If not does the parish plan to have one performed? Please advise.

There are no Testing Reports or Clearances available. Owner has an Environmental Testing Company on retainer if any suspect materials are encountered during construction he will call them out to test.

18. Sheet A 7.2 denotes for the GC to replace existing column and column cover. Can more detail be provided for pricing purposes? Please advise.

See Detail 3/A-3.3 and attached letter from Robert Bouchon.

19. The project specification includes fire suppression. The only note we can locate pertaining to sprinkler is found on sheet M2 "Rework / add sprinkler heads and piping within this area as required to suit new partitions, ceiling, lights and ceiling devices". Is this the only area where sprinkler work is required? Is the current system active? Can more information be provided pertaining to the current system installed, riser locations etc. Please advise.

The Sprinkler System is Active. The design intent is for the contractor to modify the existing sprinkler system only to suit changes made to the floor plan as part of the renovation. Contractor shall investigate the existing sprinkler system to determine the extent of work required.



20. Sheet A7.2 finish schedule for the firing range notes floor finishes as existing and base as "Vinyl". Are we to provide all new vinyl base in this area?

Yes. There is no Existing Gypsum Board on the Walls to 2' Above the Finished Floor.
See Response to Question 3 above.

21. The drawings show a new window at the receptionist area; please provide a specification.

See Details 1/A-7.5 and 7, 8, 9/A-7.6.

Receptionist's Window shall be Knappe & Vogt Roll-Ezy Ball Bearing Track, or approved equal (as indicated on Details 7, 8, and 9/A-7.6).

Patterned Glass is specified in Section 088000, 3.8 Glass Type GL-1, Fully Tempered Binswanger Cross Reeded. Provide minimum 4mm thickness.

22. Sheet A 12.1 shows a free-standing bench in the restrooms. This is not listed in the division 10 specifications. Are these items Owner furnished, and owner installed? Please advise.

Bench Tops: Bench Tops are specified in Section 102116.19, 2.4 Accessories, D, with Solid Phenolic Top.

Bench Pedestals: Bench Pedestals shown on Drawings are based on Global Industrial Trapezoid Legs for Plastic Locker Room Bench, or equal, Stainless Steel, 2-Inch Diameter X 16.25" High Trapezoid Stainless Steel Pedestal. Provide All Stainless Steel Anchors and Mounting Bolts into Floor. Provide Manufacturer's Standard 15-year Warranty.

23. Sheet A 12.1 notes a handicapped sign on handicapped toilet stalls. Are there other interior architectural signs in this project? A signage schedule was not included nor was a specification section for signage. Please advise.

Provide Handicapped Sign of each Handicapped Toilet Stall Door as shown.

Owner will provide all other Signage.

24. Who is responsible for the purchase and installation of the clothes washer/dryers? Please advise.



Laundry Centers as shown as "NIC" (Not in Contract) on Sheet A-2.3. Owner will provide Laundry Centers.

("Chairs" also shown on Sheet A-2.3 are also "NIC.")

25. The architectural drawings have noted fire extinguishers. Are the fire extinguishers existing or are these indicating that new extinguishers will need to be provided by the bidding GC? Please advise.

Re-locate one Existing Fire Extinguisher Cabinet in wall at the Firing Range as shown on Sheet A-2.2, Scope of Work, Note 4, at location where directed by Architect.

All other fire Extinguishers are existing or will be provided by Owner.

26. Sheet A4.1 shows the exterior letter signage on the façade. This is noted as "new". No specification or information on makeup or size is provided. Please provide additional information.

Omit Notation on Detail 4/G-4.1 "EXISTING SIGNAGE, TYP." "PATRICK F. TAYLOR FIRING RANGE." Existing Signage cannot be located.

Omit Notation on Detail 4/A-4.1 "NEW DIMENSIONAL LETTER SIGNAGE, TYP., indicated "PATRICK F. TAYLOR FIRING RANGE."

Owner will provide New Dimensional Signage.

27. Please provide the manufacturer's name for the current range equipment system and as follows:
- a. Is the current range system under warranty or a maintenance agreement? Please provide details of the system and guarantees for review.

The Existing Range Equipment is not under Warranty. It will be replaced by the owner with new equipment under a separate contract.



The Scope of Work includes Sandblasting and Chemical Removal of all Rust of the existing painted Finish from all Metal Surfaces, Replacement of the Acoustical Tiles, and Finish Painting by the General Contractor.

- b. It would appear that some of this equipment will need to be taken down to accommodate the sandblasting, is this to be performed by the Range System manufacturer prior to the work of this contract as it is a highly specialized system?

General Contractor to remove and discard any existing Range System rails or equipment required to sandblast metal surfaces. Contractor to remove and replace all Plywood and 2X Wood Sub-Structure on the Existing Baffles to access the metal surfaces.

Thank You.

Respectfully,

Patrick Rownd
TUNA CONSTRUCTION

JPSO – Warehouse Tornado Repairs
1801 West Bank Expressway

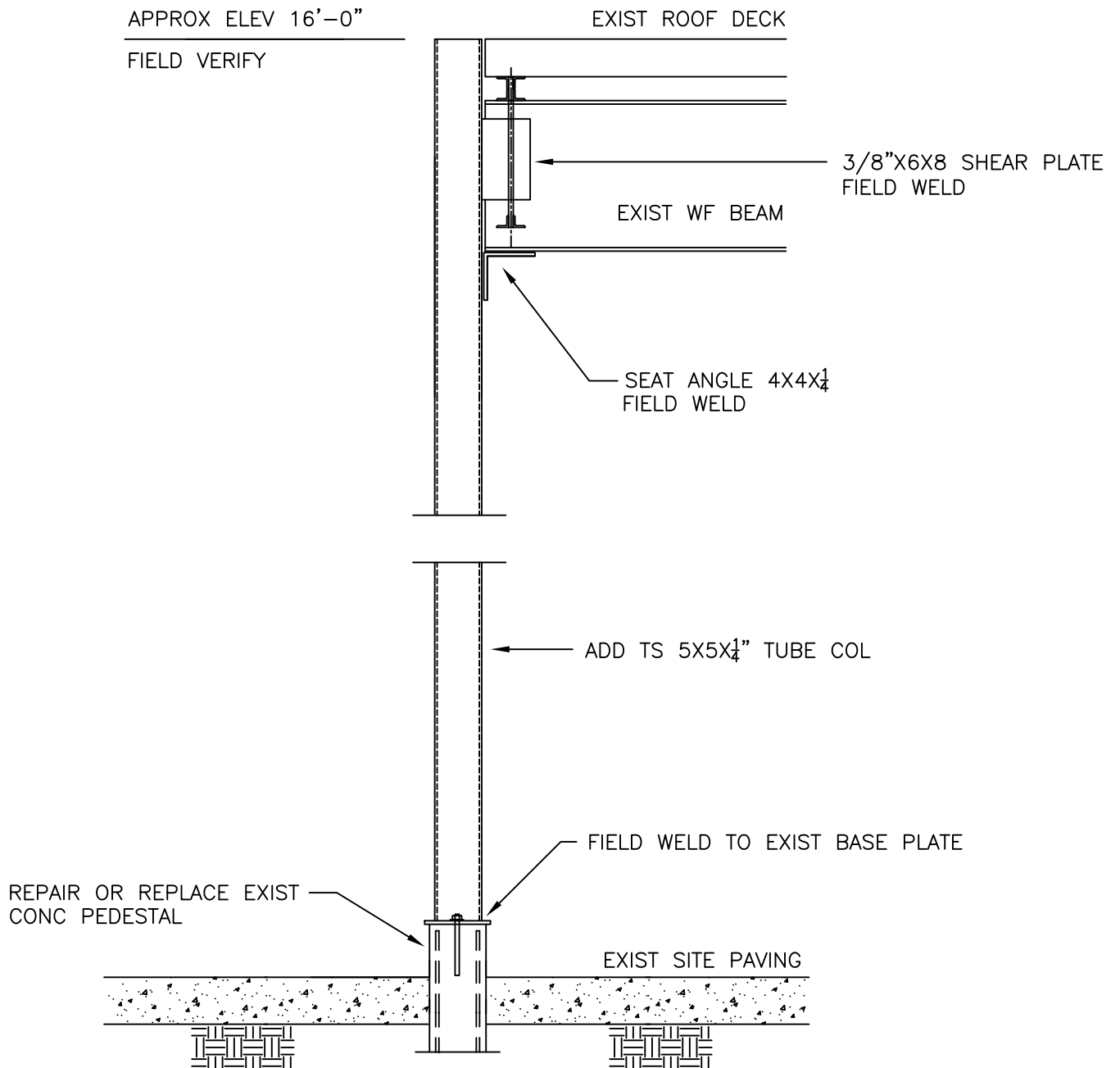
Structural Addendum Items

- 1) The connection at the base of all new 4” pipe stub columns shall be revised from field welded to field bolted. See attached Detail SK1. Holes shall be field drilled into the top flange of the existing steel beams to accept the new base plates.
- 2) The AISC Certification requirements in Spec Section 051200 shall be waived and replaced with the requirement that the steel fabricator and erector has at least 20 years experience in projects of similar size and scope.
- 3) There is currently a missing column at Line 2J. A 5x5x ¼ tube column shall be added at this location. See attached Detail SK2.
- 4) The existing damaged column at Line 8H shall be removed and replaced. See attached Detail SK3. The GC shall provide temporary shoring as needed.

End of Addendum Items



7.11.23



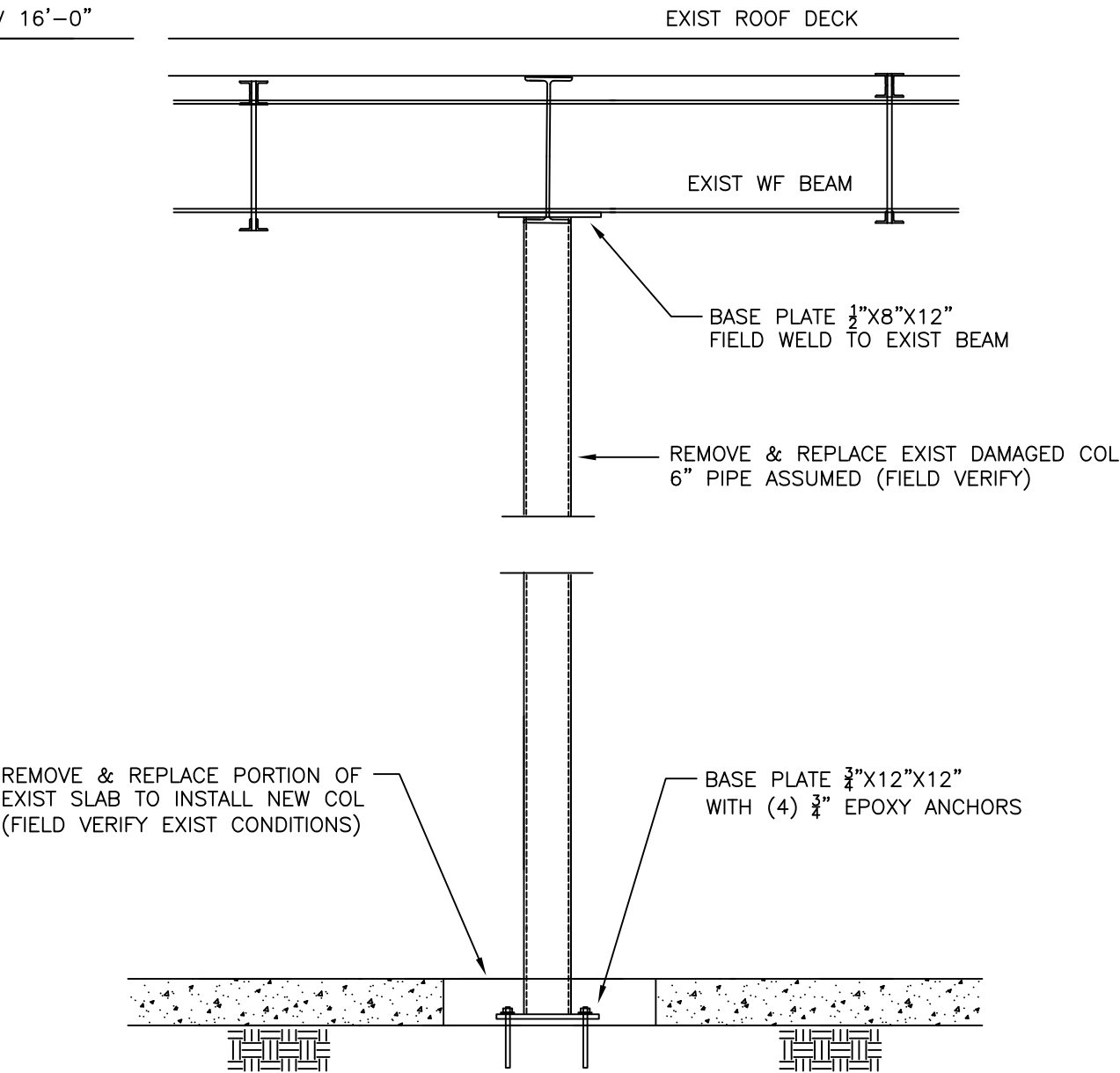
SK2

SECTION AT MISSING COLUMN "2J"

SCALE: NONE

7.11.23

APPROX ELEV 16'-0"
FIELD VERIFY



SK3

SECTION AT DAMAGED COLUMN "8H"

SCALE: NONE

7.11.23

GVA ENGINEERING, L.L.C.

2615 Edenborn Avenue, Suite C
Metairie, Louisiana 70002
Phone (504) 780-9330
Fax (504) 780-9419
July 11, 2023

mbuisson@n-yassociates.com

N-Y Associates, Inc.
ATTN: Michael Buisson
2750 Lake Villa Drive
Metairie, LA 70002

SUBJECT: Jefferson Parish Sheriff's Office
Shooting Range - Tornado Repair
GVA Project No. 4268

Gentlemen:

Please add the following to your next addendum.

PRIOR APPROVAL OF MATERIALS

Listed below are manufacturers who are recognized as capable of producing materials, manufactured items, and articles of equipment equal to those specified. Equipment will be considered acceptable providing the equipment meets, or exceeds specification requirements, has the capacity and performance requirements, fits the space available to the satisfaction of the Architect, conforms in every respect with the applicable regulatory agencies and for lighting fixtures is also similar in appearance, construction and photometrics (photometric information shall be based on independent laboratory reports). Contractor shall submit for approval large scale drawings of proposed layouts and arrangements and samples of lighting fixtures when requested.

The listed prior approvals are not given with respect to any specific model, series, catalog number, etc. Suppliers are cautioned that before their equipment is actually approved, it will be incumbent upon them to demonstrate to the Architect that it is in fact equal to the requirements specified and conforms fully to all specification requirements.

MATERIAL/EQUIPMENT	MANUFACTURER
Grilles, Registers, Diffusers	Nailor Industries
Louvers	Nailor Industries
Boilers	Raypak, Patterson Kelley
Variable Frequency Drives	Yaskawa
Pumps	Grundfos, Patterson, Taco Comfort
Chillers	Carrier

Sincerely,
GVA ENGINEERING, L.L.C.



Benjamin J. Tullier, P.E.
BJT/aec

CSI Form 1.5C

SUBSTITUTION REQUEST (During the Bid Period)

Project: Jefferson Parish Sheriff's Substitution Request Number: _____
Office Warehouse Tornado Repair From: 3D Construction LLC
 To: U-1 Associates Inc Date: _____
 Re: _____ A/E Project Number: _____
 Specification Title: Louvers and Vents Description: Manufacturers
 Section: 102000 Page: 1 Article/Paragraph: 2.01

Proposed Substitution: Industrial Louvers model 653XPDC
 Manufacturer: Industrial Louvers Address: 5115 7th Street Deltona, FL Phone: 763-210-4372
 Trade Name: Industrial Louvers Inc SS328 Model No.: 653XPDC

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.

Submitted by: [Signature]
 Signed by: David Lamastus Jr
 Firm: 3D Construction LLC
 Address: 1302 Marina Drive
Slidell, La 70458
 Telephone: 985-646-2636

A/E's REVIEW AND ACTION

- ☐ Substitution approved - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution approved as noted - Make submittals in accordance with Specification Section 01 25 00 Substitution Procedures.
☐ Substitution rejected - Use specified materials.
☐ Substitution Request received too late - Use specified materials.

Signed by: _____

Date: _____

Supporting Data Attached: ☒ Drawings ☒ Product Data ☐ Samples ☒ Tests ☒ Reports ☐ _____



MODEL 653XPDC

STANDARD CONSTRUCTION

- Material: Extruded Aluminum 6063-T6
- Frame: 6" (152 mm) Deep, 0.081" / 0.125" (2.1 / 3.2 mm) Wall Thickness
- Blade: 6" (152 mm) Deep, 0.081" (2.1 mm) Wall Thickness
- Blade Spacing: 4.25" (108.0 mm) On Center

OPTIONAL ACCESSORIES - Mark All Required Options

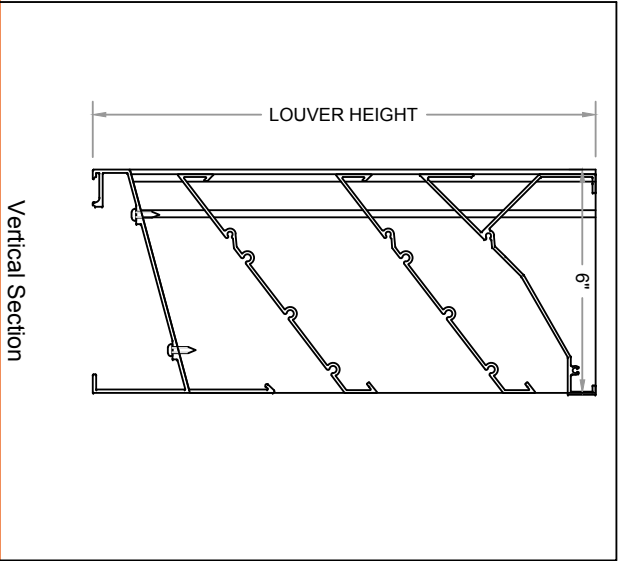
- Bird Screen - 1/2" x 0.063" Flattened Expanded Aluminum
- Insect Screen - 18 x 14 Mesh Charcoal Aluminum
- Sill Flashing
- Insulated & Non-Insulated Blank Off Panels
- Flanged & Glazing Frames
- Visible Mullions
- Invisible Mullions for Continuous Blade Appearance
- Hinged Access Panels

FINISHES - Select One

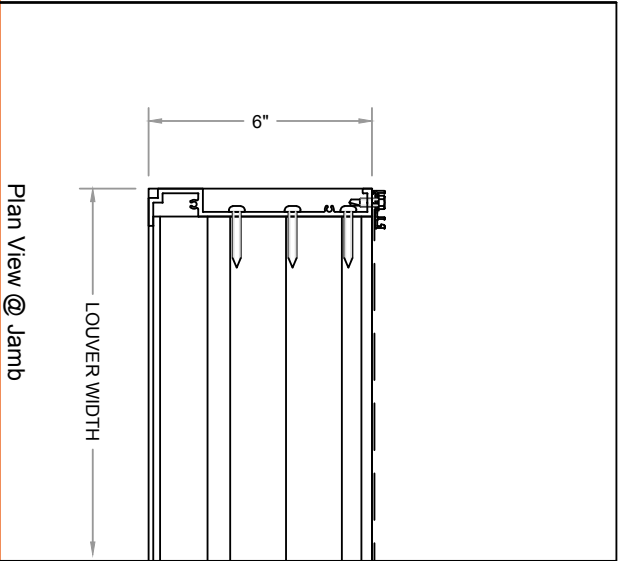
- 2-Coat Fluoropolymer: Fluoron Pure® 70% PVDF (AAMA 2605)*
- 3-Coat Fluoropolymer: Fluoron Pure® 70% PVDF (AAMA 2605)*
- Anodic Finishes: Class I & Class II, Clear & Bronze Spectrum
- Prime Coat: Recommended When Field Painting
- Mill Finish: Bare Aluminum
- *Fluoron Pure® is Living Building Challenge Red List Free
- *Custom Colors Available

Mark	Qty	Circle One: Louver Size / Rough Opening		Mullion Type (IVM or VVM)	Num. of Sections	Notes
		Width	Height			

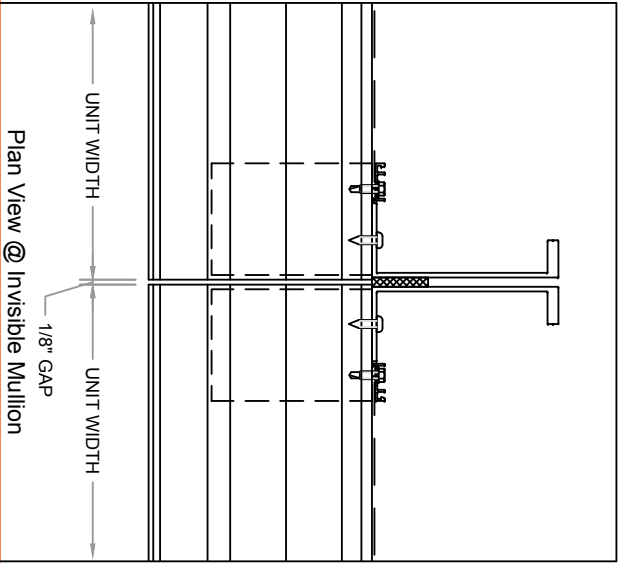
Please complete table above for quotation or immediate release to production. Indicate any required optional accessories and finishes listed above.



Vertical Section



Plan View @ Jamb



Plan View @ Invisible Mullion



MODEL 653XPDC

STANDARD CONSTRUCTION

- **Material:** Extruded Aluminum 6063-T6
- **Frame:** 6" (152 mm) Deep, 0.081" / 0.125" (2.1 / 3.2 mm) Wall Thickness
- **Blade:** 6" (152 mm) Deep, 0.081" (2.1 mm) Wall Thickness
- **Blade Spacing:** 4.25" (108.0 mm) On Center

OPTIONAL ACCESSORIES

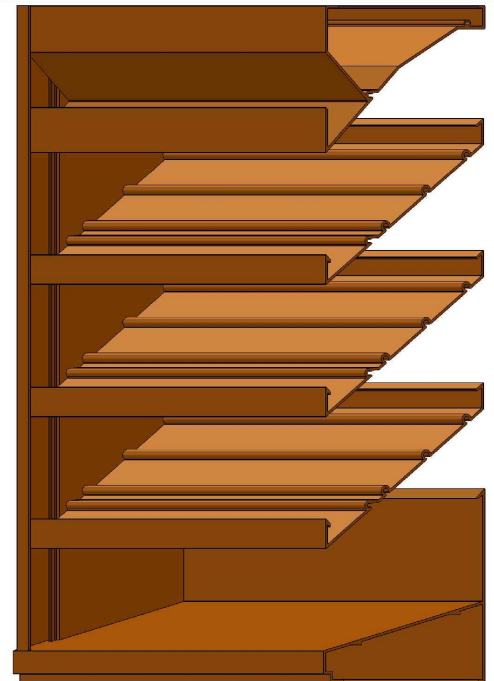
- Bird Screen - 1/2" x 0.063" Flattened Expanded Aluminum
- Insect Screen - 18 x 14 Mesh Charcoal Aluminum
- Sill Flashing
- Insulated & Non-Insulated Blank Off Panels
- Flanged & Glazing Frames
- Visible Mullions
- Invisible Mullions for Continuous Blade Appearance
- Hinged Access Panels

FINISHES

- **2-Coat Fluoropolymer:** Fluoropon Pure® 70% PVDF (AAMA 2605)*
- **3-Coat Fluoropolymer:** Fluoropon Pure® 70% PVDF (AAMA 2605)*
- **Anodic Finishes:** Class I & Class II, Clear & Bronze Spectrum
- **Prime Coat:** Recommended When Field Painting
 - *Fluoropon Pure® is Living Building Challenge Red List Free
 - *Custom Colors Available

SUGGESTED SPECIFICATIONS

- **General:** Furnish and install where indicated on drawings
6" (152 mm) Impact Resistant Louver Model 653XPDC as manufactured by Industrial Louvers, Inc. Delano, MN.
- **Material:** Extruded aluminum frames and blades shall be one piece 6063-T6 alloy, designed to collect and drain water to the exterior at the sill by means of integral gutters in the blades and jamb frames. Bottom and top frame shall have a material thickness of 0.081" (2.1 mm). Side frame shall have a material thickness of 0.125" (3.2 mm). Fixed blades shall have a material thickness of 0.081" (2.1 mm). Frames and blades shall be joined by stainless steel fasteners, and frame will be caulked to prevent water penetration to interior wall construction.



NOA 21-0203.05



REV: MARCH 2019



www.IndustrialLouvers.com
ilinfo@IndustrialLouvers.com

511 South 7th Street, Delano MN 55328
Tel: 763.972.2981 | Fax: 763.972.2911



MODEL 653XPDC

PERFORMANCE

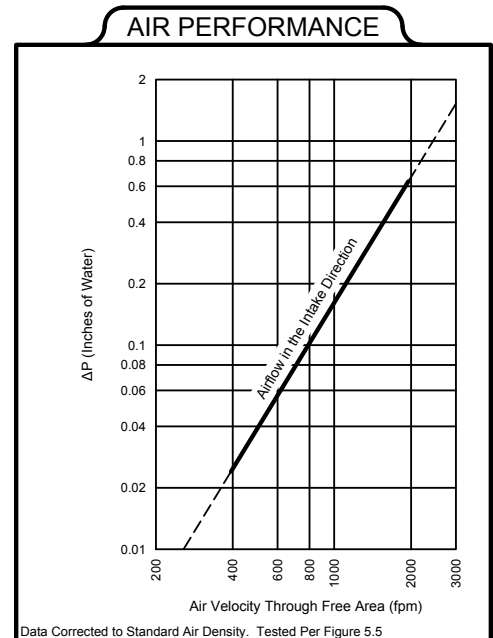
- Free Area = 8.77 ft² (54.8%)
- Beginning of Water Penetration = 1193 fpm / 10,462 cfm
- Air Flow @ ΔP of 0.15" Water = 964 fpm / 8484 cfm

*All Ratings Based on 48" x 48" Test Specimen

STRUCTURAL AND IMPACT TESTING

- TAS-201 Large Missile Impact
- TAS-202 Uniform Static Pressure
- TAS-203 Cyclic Pressure

		FREE AREA (ft ²)					
Louver Height	120 in	5.17	11.38	17.59	23.80	30.01	36.21
	108 in	4.65	10.23	15.81	21.39	26.97	32.55
	96 in	4.13	9.08	14.03	18.98	23.93	28.89
	84 in	3.60	7.93	12.25	16.58	20.90	25.22
	72 in	3.08	6.78	10.47	14.17	17.86	21.56
	60 in	2.56	5.62	8.69	11.76	14.83	17.90
	48 in	1.91	4.19	6.48	8.77	11.05	13.34
	36 in	1.38	3.04	4.70	6.36	8.02	9.67
	24 in	0.86	1.89	2.92	3.95	4.98	6.01
	12 in	0.34	0.74	1.14	1.54	1.95	2.35
Louver Width		12 in	24 in	36 in	48 in	60 in	72 in
<ul style="list-style-type: none"> Effects of blade stiffeners or additional bracing has not been considered. Effects of screen or other accessories has not been considered. Contact Industrial Louvers for free area of other sizes. 1 in = 25.4 mm 10.76 ft² = 1 m² 							



Industrial Louvers, Inc. certifies that the Model 653XPDC shown herein is licensed to bear the AMCA Seal. The ratings shown are based on tests and procedures performed in accordance with AMCA Publication 511 and comply with the requirements of the AMCA Certified Ratings Program. The AMCA Certified Ratings Seal applies to air performance ratings and water penetration ratings.

© 2019 Industrial Louvers. All rights reserved.

REV: MARCH 2019



www.IndustrialLouvers.com
ilinfo@IndustrialLouvers.com

511 South 7th Street, Delano MN 55328
Tel: 763.972.2981 | Fax: 763.972.2911



Industrial
Louvers, Inc.

www.IndustrialLouvers.com

511 South 7th Street

Delano, MN 55328

763-972-2981

Installation Instructions for Horizontal Blade Louvers

Note:

- The information included in the submittal drawing package shall supersede any information included in these installation instructions. Fastener type, size, and quantity shall be dictated by the submittals. It is the responsibility of the installer to follow all building codes and comply with all safety regulations.
- These installation instructions are intended to cover basic louver installation processes. Various surrounding conditions may require a specialized anchorage solution in which case the Industrial Louvers prepared shop drawings should be referenced for installation guidance.
- These installation instructions do not depict louver accessories such as screen or blank off panels. The installation process is similar regardless of accessory type.
- Anchors into substrate are not supplied unless noted otherwise. The installer is responsible for supplying appropriate anchors.
- The product depicted in these installation instructions may not match the product supplied, however the installation process is the same.

Table of Contents

Definitions / Abbreviations	2
Louver Assembly Overview	3
Opening Preparation and Flashing Installation	4
Jamb Anchorage	5 - 6
IVM Anchorage	7 - 9
VVM Anchorage	10 - 11
Weather Proofing	12

Definitions / Abbreviations

-Blade

The component used to fill the louver area.

-Flashing

Formed metal, peel and stick, or fluid applied membrane intended to divert water to desired location.

-Frame

The component(s) making up the perimeter of the louver.

-HWH

Hex Washer Head

-IVM

Invisible Vertical Mullion. Structural members are located behind blades to provide an uninterrupted monolithic assembly.

-Jamb

The left or right side of the louver assembly.

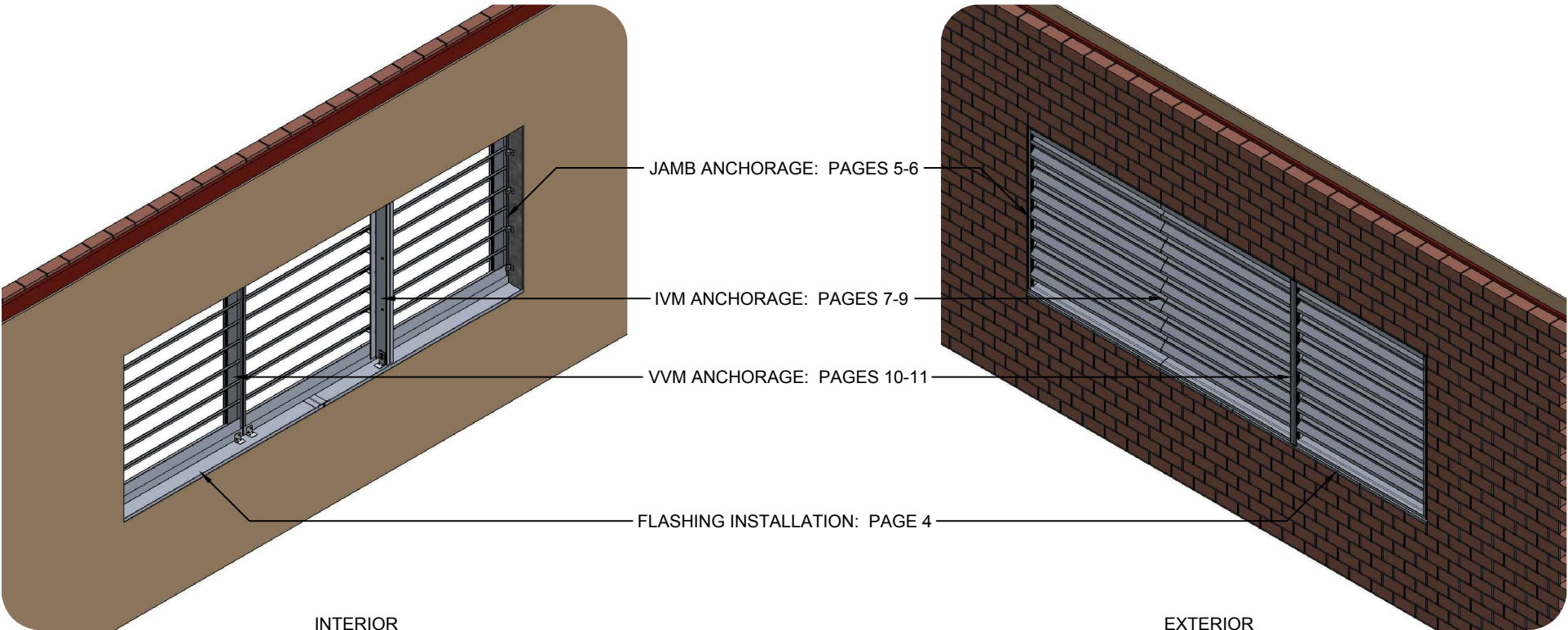
-SM

Sheet Metal.

-VVM

Visible Vertical Mullion. Side frames serve as structural members and are in line with the blades. Vertical battens are utilized to cover mullions which produce vertical bands within the louver assembly.

Louver Assembly Overview

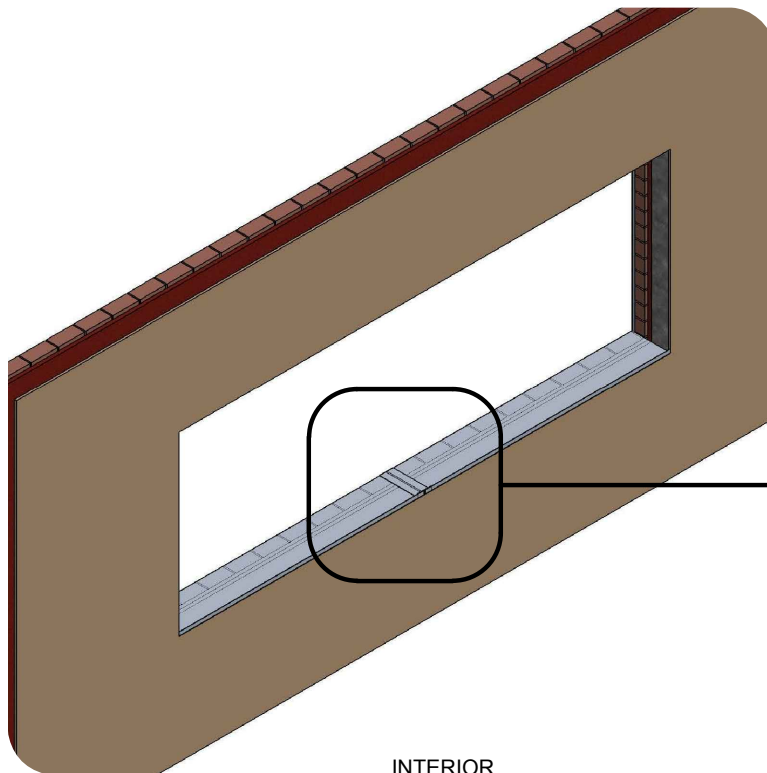


Sill Flashing Installation

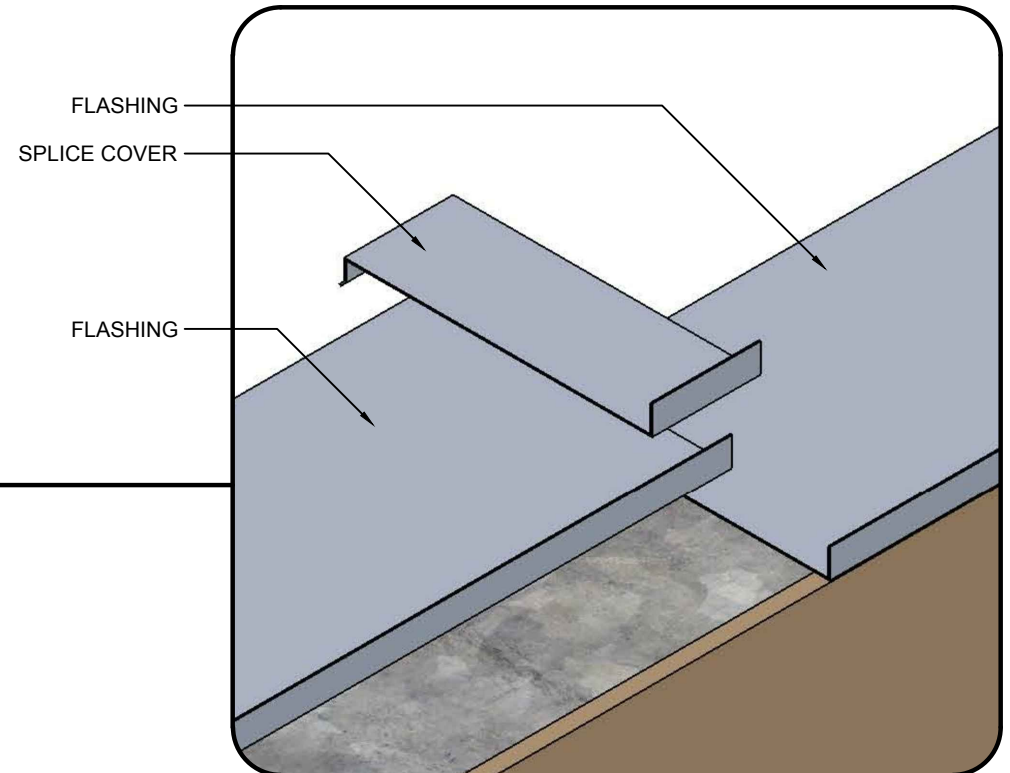
1. Inspect opening. Repair any damaged or unsound substrate before proceeding.
2. Apply sealant to opening as necessary to prevent water infiltration between opening and flashing.
3. Set flashing into opening.
4. Set splice cover in a bed of sealant at all sill flashing splice locations.
5. Complete opening preparation by installing additional flashing and sealant as warranted by the wall construction.

Note:

Flashing is not supplied with all louvers. Flashing installation may be omitted, however the opening shall still be properly prepared prior to proceeding.

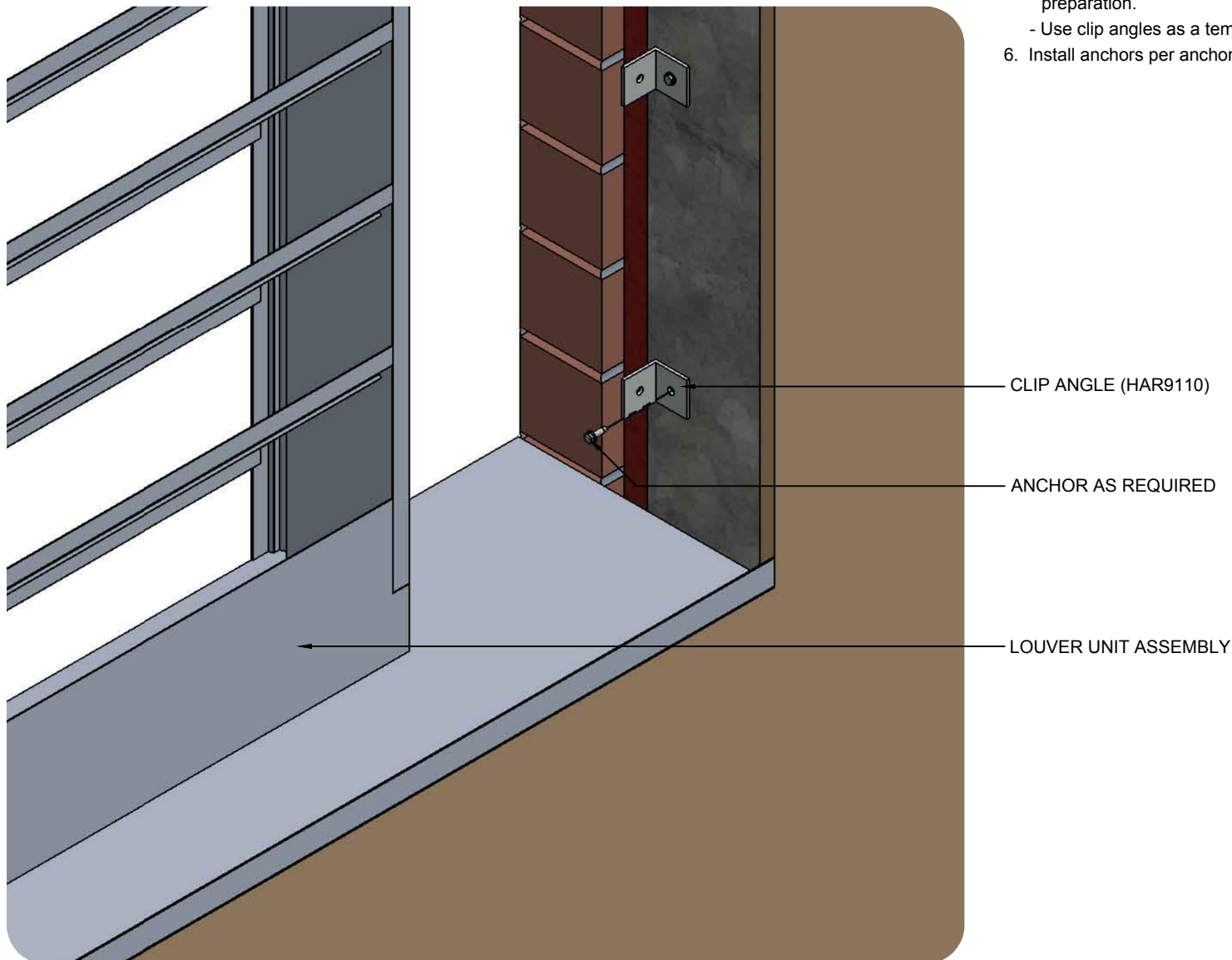


INTERIOR



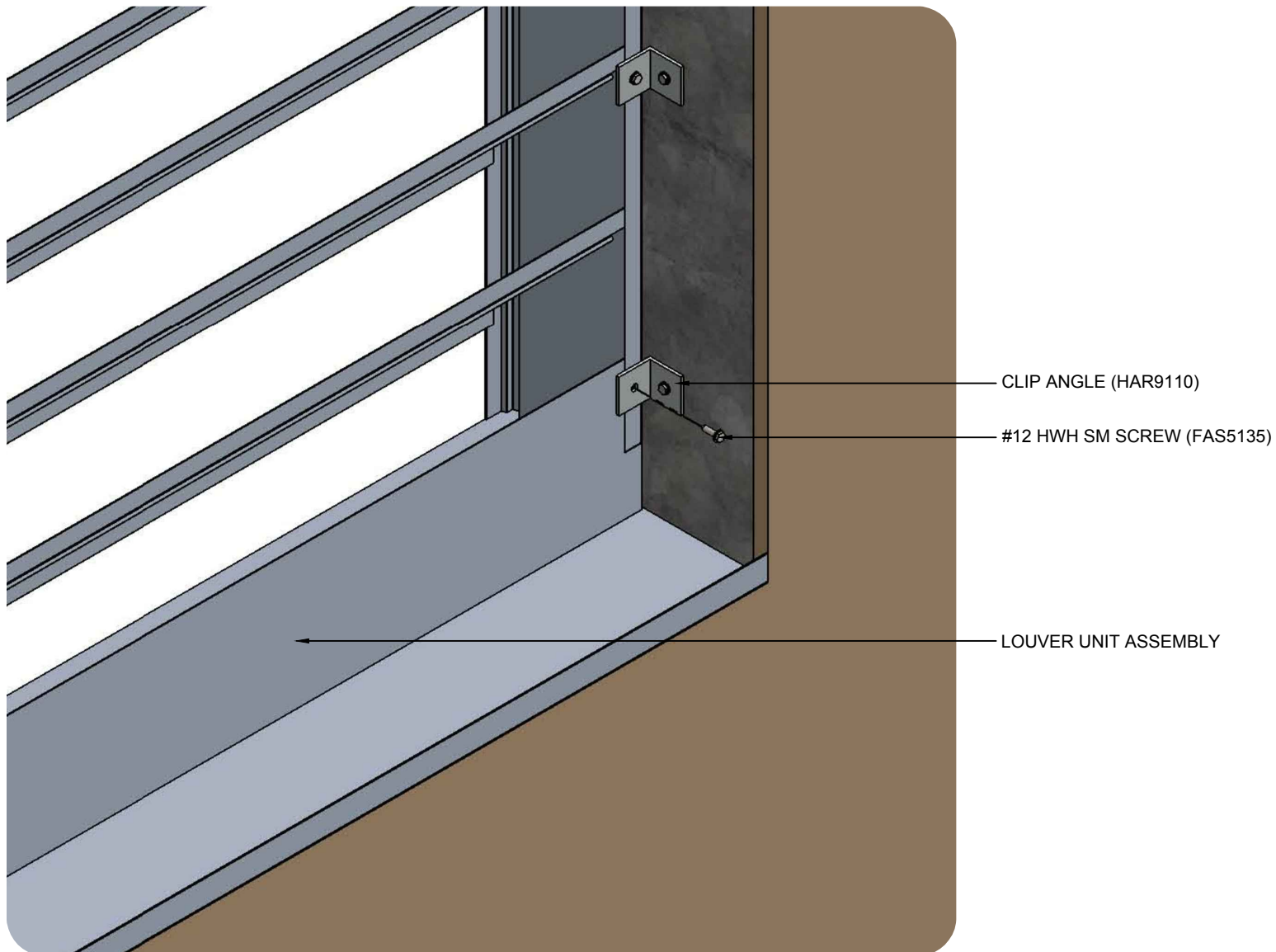
Clip Angle Installation At Jamb

1. Determine in/out location of clip angles.
 - Consider depth of louver system and any offset required from face of building to face of louver.
2. Mark in/out location of clip angles near top and bottom of opening.
3. Snap line between marks made in Step 2.
4. Mark vertical location of clip angles according to Industrial Louvers prepared shop drawings.
5. Drill pilot holes for anchors.
 - Consult anchor manufacturer's product data for proper substrate preparation.
 - Use clip angles as a template.
6. Install anchors per anchor manufacturer's recommendations.



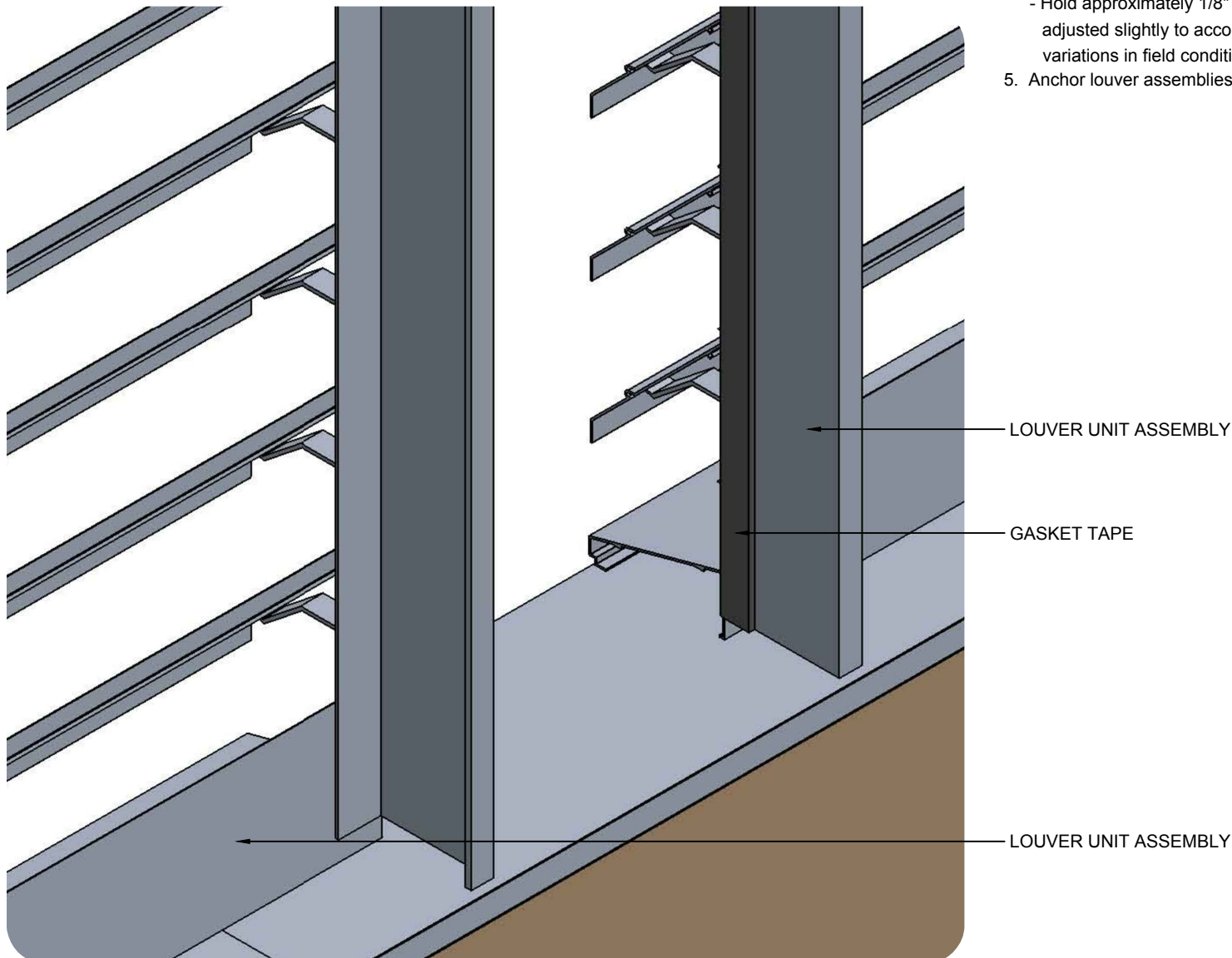
Louver Unit Installation At Jamb

1. Place louver unit assembly into position.
2. Drill 3/16" diameter pilot holes in louver frame for #12 HWH SM Screws.
3. Fasten louver to clip angles with #12 HWH SM Screws (FAS5135).
4. Repeat steps 2-3 for each clip angle.

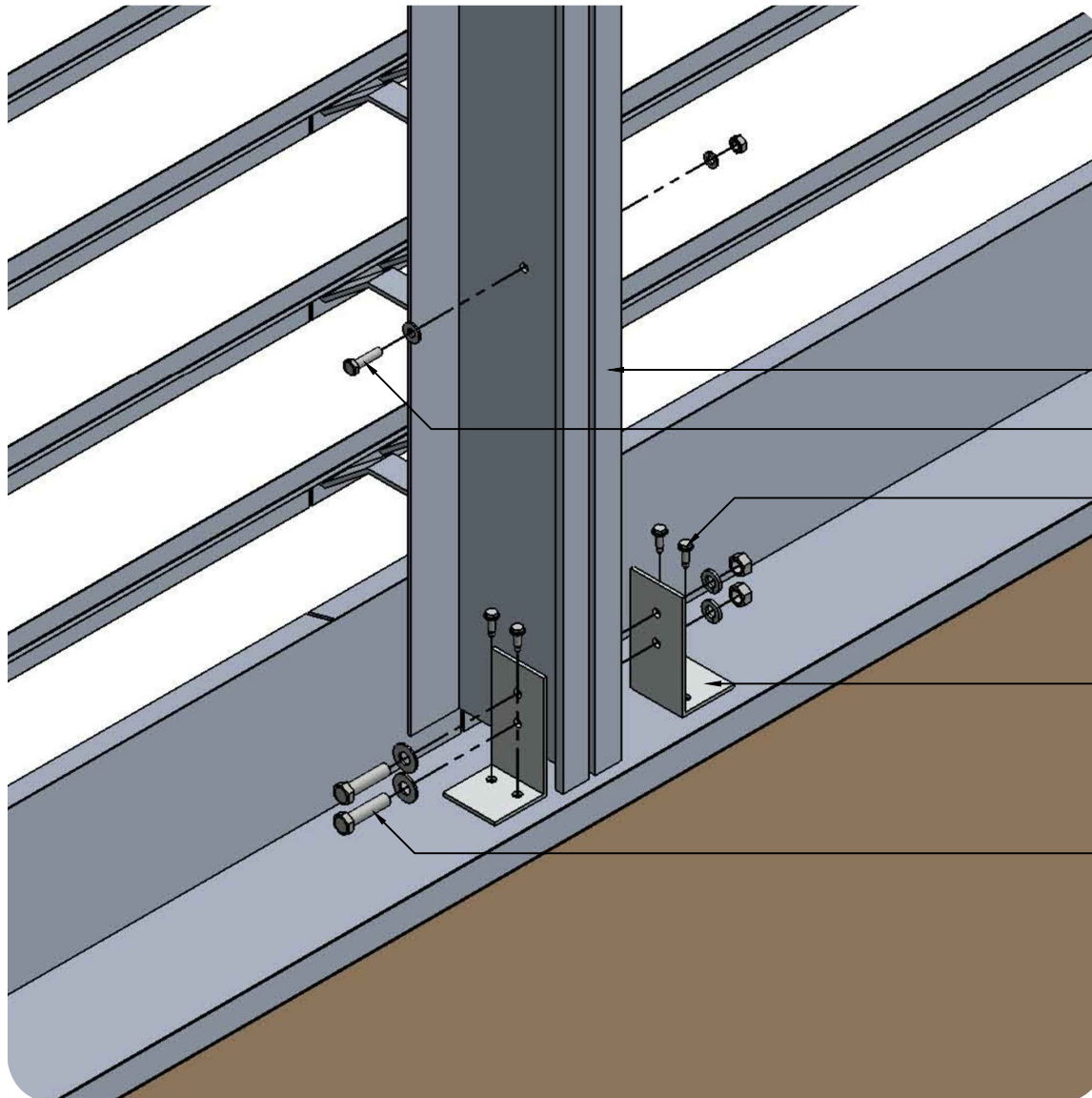


Gasket Tape Installation

1. Position first louver unit assembly as required.
 - The first louver unit assembly will already be partially installed and in place if units are installed from the end and you are working left to right or right to left.
 - Use shims, clamps, etc. to temporarily hold louver assembly in place.
2. Unroll gasket tape and remove protective film to expose sticky surface.
3. Install gasket tape to vertical support just behind louver blades.
 - Only one piece of gasket tape is required at each mullion.
4. Position second louver unit assembly as required.
 - Hold approximately 1/8" gap between louver assemblies. Gap may be adjusted slightly to account for manufacturing tolerances and/or variations in field conditions.
5. Anchor louver assemblies as shown on Page 8.



Clip Angle Installation At IVM



1. Drill clearance holes for thru bolts which are used to fasten the clip angles to the vertical supports.
 - Use clip angles as a template.
2. Drill pilot holes for anchors.
 - Consult anchor manufacturer's product data for proper substrate preparation.
 - Use clip angles as a template.
3. Install anchors per anchor manufacturer's recommendations.
 - All penetrations in sill flashing shall be properly sealed.
4. Fasten clip angles to vertical supports with supplied thru bolts.
5. Repeat steps 1-4 at top of louver.
6. Mark location of all through bolts for vertical support bracing purposes per the Industrial Louvers prepared shop drawings.
7. Drill 5/16" diameter clearance hole through both vertical supports at each location marked in step 6.
8. Install 1/4" diameter bolts through vertical supports.

VERTICAL SUPPORT

1/4" DIA. THRU BOLT

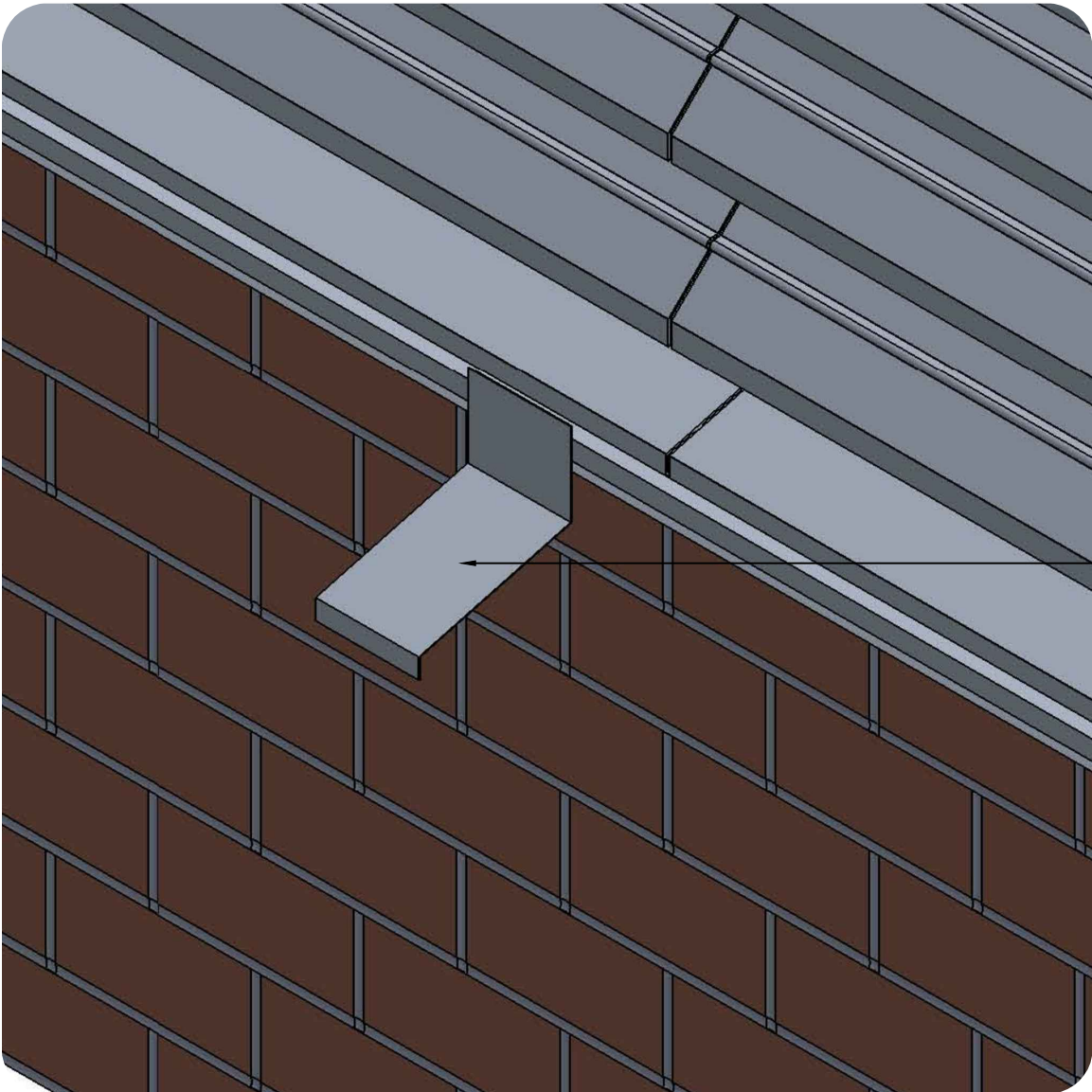
ANCHORS AS REQUIRED

CLIP ANGLE (HAR9136)

3/8" DIA. THRU BOLT

Bottom Frame Splice Cover Installation

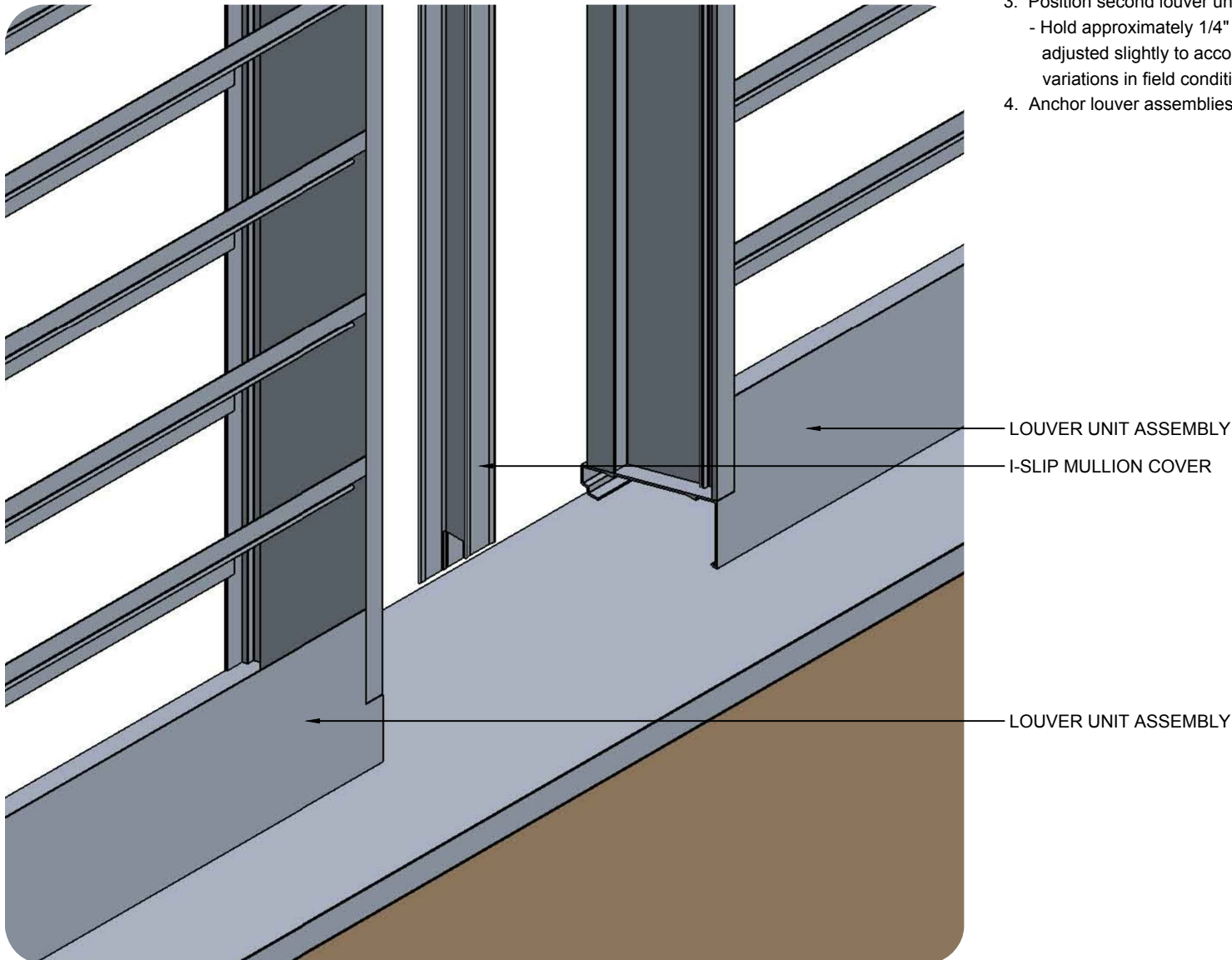
- 1. Set splice cover in a bed of sealant at all IVM locations.



BOTTOM FRAME SPLICE COVER

Mullion Cover Installation

1. Position first louver unit assembly as required.
 - The first louver unit assembly will already be partially installed and in place if units are installed from the end and you are working left to right or right to left.
 - Use shims, clamps, etc. to temporarily hold louver assembly in place.
2. Install I-Slip mullion cover onto first louver unit assembly.
 - Position notched end of mullion cover at bottom of louver to avoid interference with bottom frame.
 - It is not required to fasten the I-Slip mullion cover to either louver units.
3. Position second louver unit assembly as required.
 - Hold approximately 1/4" gap between louver assemblies. Gap may be adjusted slightly to account for manufacturing tolerances and/or variations in field conditions.
4. Anchor louver assemblies as shown on Page 11.

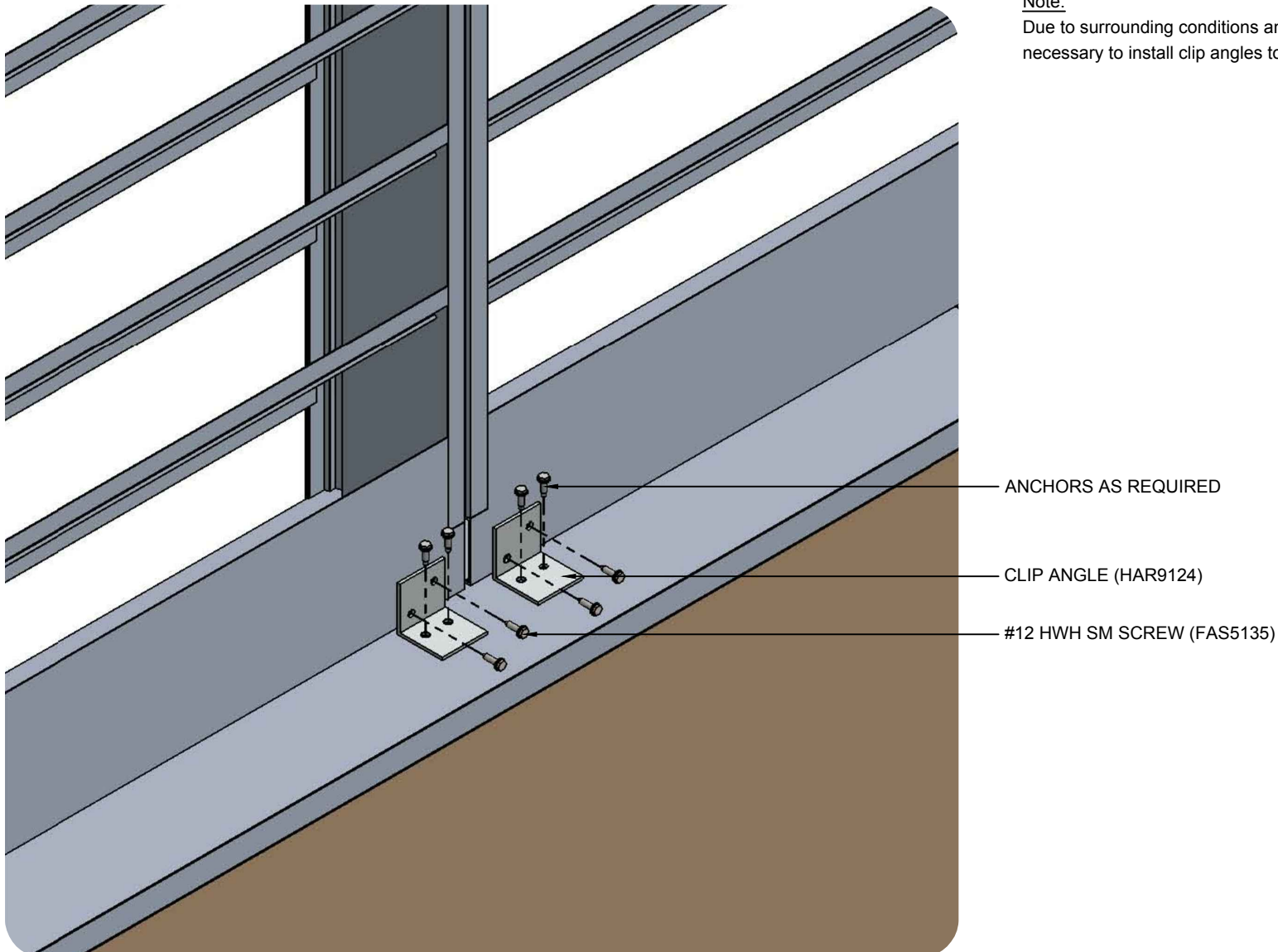


Clip Angle Installation At VVM

1. Drill pilot holes for anchors.
 - Consult anchor manufacturer's product data for proper substrate preparation.
2. Install anchors per anchor manufacturer's recommendations.
 - All penetrations in sill flashing shall be properly sealed.
3. Drill 3/16" diameter pilot holes in louver frame for #12 HWH SM Screws.
4. Fasten louver to clip angles with #12 HWH SM Screws (FAS5135).
5. Repeat steps 1-4 at top of louver.

Note:

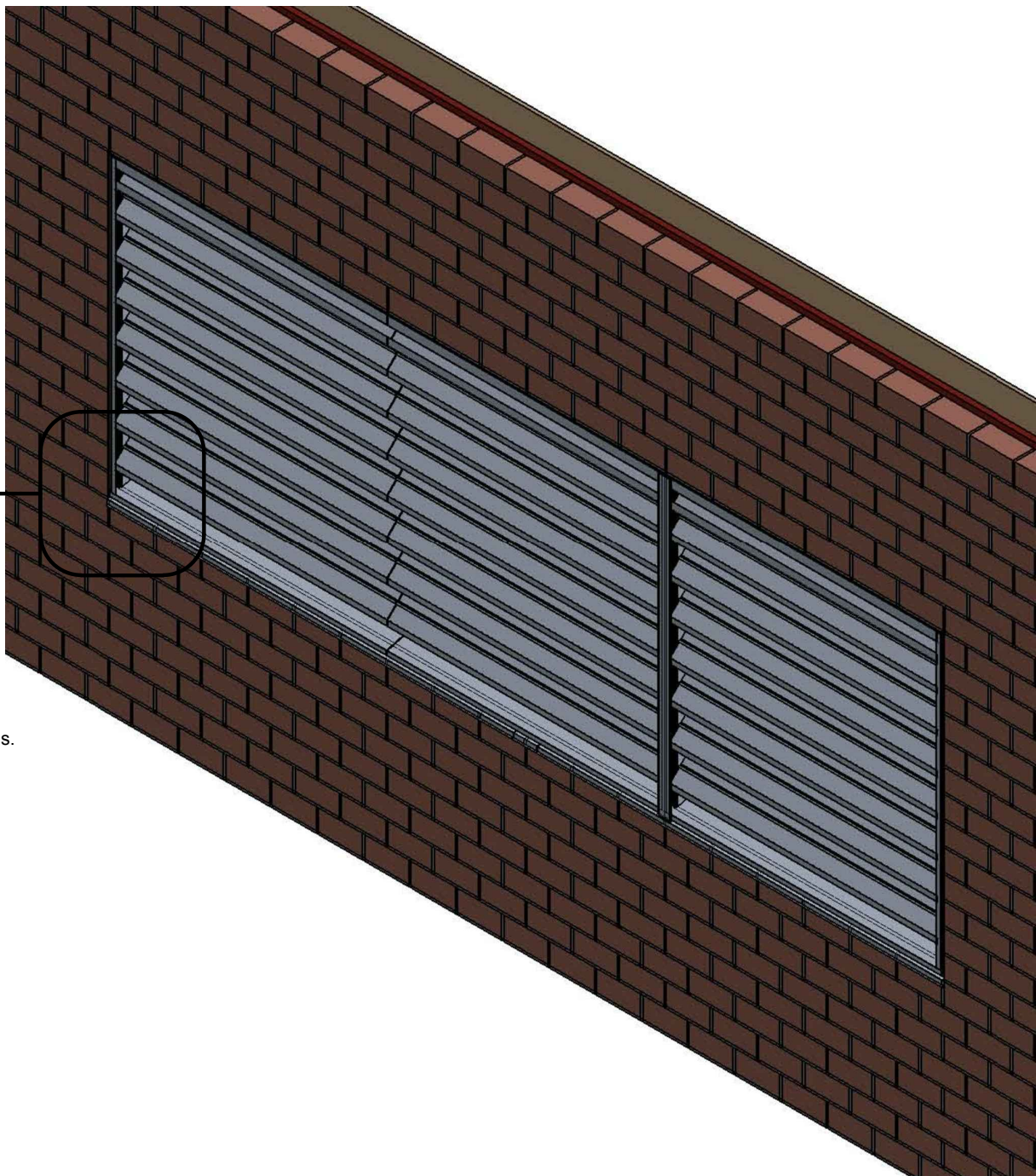
Due to surrounding conditions and/or shape of sill flashing it may be necessary to install clip angles to louver prior to installing anchors.



Weather Proofing



BACKER ROD
SEALANT



1. Insert backer rod into space between louver and surrounding conditions.
2. Apply sealant between louver and surrounding conditions.
 - Ensure sealant is bonded to surrounding substrate as well as the louver.

Note:

Water must be allowed to weep to the exterior at louver sill. Do not completely seal space between sill flashing and louver bottom frame.



511 South 7th Street
Delano, MN 55328-9125

1.800.328.3421
+1 763.972.2981
f. +1 763.972.2911

Limited Warranty

1. **Limited Warranty.** Industrial Louvers, Inc. ("ILI") warrants to the original owner ("Owner") of the property at which the product manufactured by ILI (the "Product") is first installed that the Product will be free from defects in material and workmanship for a period of five (5) years from the date of substantial completion of the portion of the project to which the Product relates or within 90 days from the date that the Product is shipped from ILI's facility, whichever occurs first. In the event of a defect covered by this Limited Warranty, ILI will, at ILI's option, (a) replace or repair the defective Product, or (b) refund the purchase price of the defective Product actually paid to ILI for the Product.

2. **Warranty Procedure.** In order to recover under this Limited Warranty, ILI must receive a written warranty claim no later than thirty (30) days after the expiration of the warranty period specifically identifying the claimed defect together with pictures of the claimed defect. If the Product is determined by ILI to be covered by this Limited Warranty, ILI, at ILI's expense, will provide Owner the remedy chosen by ILI within ninety (90) days after receipt of the warranty claim. If a warranty claim is made but warranty coverage does not apply, Owner will be liable for the charges incurred in connection with investigating the warranty claim. Prior to processing Owner's warranty claim, ILI may require Owner to sign ILI's agreement obligating Owner to pay such charges. The terms and limitations of this Limited Warranty apply to all Product repaired or replaced under this Limited Warranty for a term equal to the balance of the warranty remaining on the original Product.

3. **Exclusions From Limited Warranty.** This Limited Warranty does not cover Product abused, misused, altered, modified, not used in the intended manner, not properly stored, installed or maintained, damaged by settlement or movement of underlying structures, and any defect or damage not the result of an act or omission of ILI. This Limited Warranty is void if ILI did not receive payment for the Product when payment was due.

4. **Limited Remedies.** EXCEPT WITH RESPECT TO ANY OTHER EXPRESS WARRANTY GRANTED BY ILI IN WRITING, THE LIMITED WARRANTY AND REMEDIES SET FORTH HEREIN ARE THE EXCLUSIVE WARRANTY AND REMEDIES AVAILABLE FOR BREACH OF WARRANTY. ILI SHALL NOT HAVE ANY LIABILITY FOR INCIDENTAL, CONSEQUENTIAL OR SPECIAL DAMAGES OF ANY DESCRIPTION, WHETHER ARISING OUT OF WARRANTY (INCLUDING ANY IMPLIED WARRANTIES) OR ANY OTHER CONTRACT, NEGLIGENCE OR OTHER TORT, OR OTHERWISE. Any efforts by ILI beyond the obligations provided for in this Limited Warranty will not in any way enlarge, extend or otherwise change the Limited Warranty, remedies or limitations stated in this Limited Warranty. In no event will ILI's liability to Owner or any other person or entity exceed the price paid to ILI for the Product. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitation and exclusion may not apply to you.

5. **Disclaimers.** TO THE EXTENT PERMITTED BY LAW, ALL EXPRESS AND IMPLIED WARRANTIES (INCLUDING IMPLIED WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE AND NON-INFRINGEMENT) OTHER THAN THE EXPRESS LIMITED WARRANTY SET FORTH ABOVE ARE EXPRESSLY DISCLAIMED AND UPON THE EXPIRATION OF THE ABOVE STATED LIMITED WARRANTY PERIOD, ANY AND ALL SUCH IMPLIED WARRANTIES ARE DISCLAIMED. Some states do not allow limitation on how long an implied warranty lasts, so the above limitation may not apply to Owner.

This warranty gives owner specific legal rights and owner may also have other rights, which vary from state to state.

If you have questions about this Limited Warranty or to make a warranty claim, contact ILI at:

Industrial Louvers, Inc.
511 7th Street S.
Delano, MN 55328
Attn: Warranty Manager



RCWOSB21814

CERTIFICATION NUMBER

06/14/22

EXPIRATION DATE

Certifies that:

Industrial Louvers, Inc.

Mary Jo Reinhardt

has successfully met the requirements of the NWBOC
national certification program for certification as
a woman-owned and woman-controlled business.

The identified small business is an eligible WOSB for the WOSB Program, as set forth in 13 C.F.R. Part 127
and has been certified as such by NWBOC an SBA approved Third Party Certifier pursuant to the
Third Party Certifier Agreement, dated 06/30/11, and available at www.sba.gov/wosb.

PHYLLIS HILL SLATER
Board Chair, NWBOC

332999, 332321, 332322

NAICS Code(s)

06/15/21

Date

WWW.NWBOC.ORG

INFO@NWBOC.ORG | 800-794-6140 | 1101 East Cumberland Ave, Suite #301, Tampa, Florida 33602

TAMPERING OR ALTERING THIS CERTIFICATE IS, IN THE DISCRETION OF NWBOC, GROUNDS FOR TERMINATION OF CERTIFICATION.



Color Selections

Verta proudly uses the Sherwin-Williams® Fluropon® Pure line of coatings as its standard finish. This formulation is available in thousands of custom-matched colors. Most colors are achieved with a two-coat, single bake process. Some colors may require additional coats or processing. Please contact Verta for information about specific colors.

About Sherwin-Williams® Fluropon Pure

SHERWIN-WILLIAMS.

With significantly reduced hazardous materials, these coatings are formulated with material transparency and environmental impacts in mind. Fluropon Pure coatings offer opportunities to comply with material disclosure and optimization credits in LEED® V4 and comply with Red List Free requirements for Living Building Challenge projects. Verta is committed to sustainable practices on all the projects in which we participate, not just on those that require it.

Fluropon Pure Specifications

- Meets or exceeds AAMA 2605, the highest standard available for organic coatings on architectural aluminum extrusions and panels and is reserved for products that require superior performance.
- Appropriate for building components designed for high-rise and monumental structures.
- Appropriate for projects located in areas with intense sunlight, extreme temperatures or high levels of atmospheric pollutants.
- Formulated without the use of PFOA, hexavalent chromium, cadmium, lead and phthalates.

VERTA, INC.

511 S. 7th Street • Delano, MN 55328
+1 763-972-7030 • info@vertafinishing.com
vertafinishing.com



Verta is the proud finisher for Industrial Louvers, Inc. products.



Standard
Polyvinylidene
Fluoride (PVDF)
Coating Colors



Please note that on-screen colors will not match actual finishes.
When making a final color selection, please request a hard copy
of our finish guide or samples of color chips.

Standard Polyvinylidene Fluoride (PVDF) Coating Colors

Solid Colors

				
MATTE BLACK 398A1937FP	EXTRA DARK BRONZE 397B1820FP	MANSARD BROWN 397C0247FP	HARTFORD GREEN 395C196FP	AWARD BLUE 396B766FP
				
CHARCOAL 392B651FP	STATUARY BRONZE 397F262FP	BRANDYWINE 394A735FP	EVERGREEN 395C903FP	ELECTRIC BLUE 396B1088FP
				
FASHION GRAY 392A849FP	DARK BRONZE 397B791FP	COLONIAL RED 394A946FP	INTERSTATE GREEN 395F081FP	REX BLUE 396B502FP
				
CITYSCAPE 392B869FP	SEAL BROWN 397B036FP	BRICK RED 394F146FP	DARK IVY 395C1508FP	SKY BLUE 396B5712FP
				
STONE WHITE 391A454FP	GRAYISH 392B4031FP	TILE RED 394A572FP	MINT GREEN 395B880FP	TEAL 395A832FP
				
BONE WHITE 391B803FP	SIERRA TAN 393B4397FP	BEIGE 393F061FP	PATINA GREEN 395C1321FP	HEMLOCK GREEN 395C1966FP
				
BRIGHT WHITE 391B9513FP	SEAWOLF BEIGE 397F199FP	SANDSTONE 393X321FP	ALMOND 397B1117FP	ORIENTAL IVORY 393A361FP



Mica/Metallic Colors*

				
DARK BRONZE MICA 399C8157FP	HARVEST GOLD 399C8787FP	COSMIC GRAY 399C9126FP	WEST PEWTER MICA 399C9753FP	BRIGHT SILVER 399X440FP
				
MEDIUM BRONZE 399D0427FP	APPLE FIZZIE 399B812FP	GRAY VELVET 399D0508FP	SILVER 399B697FP	PLATINUM 399C7551FP
				
DRIFTWOOD 399C9411FP	CHAMPAGNE METALLIC 399C711FP	MEDIUM GRAY 399D7582FP	SILVERSMITH 399D0502FP	SUNLIGHTSILVER 399D0280FP
				
VANCOUVER COPPER 399C9350FP	CHAMPAGNE PEARL 399C245FP	PEWTER 399C1180FP	SILVER METALLIC 399C8897FP	ANODIC CLEAR 399C210 FP
				
				COPPER 399C505FP

*Mica/Metallic Colors: Most colors are achieved with a standard two-coat, single bake process. Some colors may require additional coats or processing.

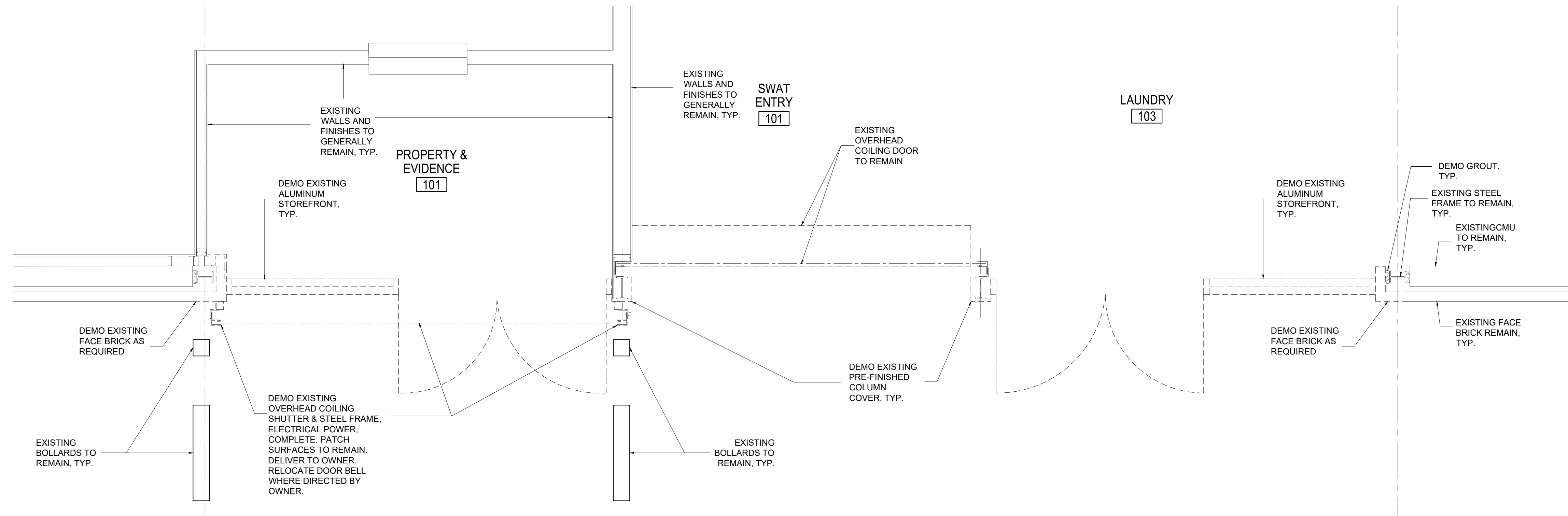
**Vibrant Colors: Colors shown are eligible for our full 20-year warranty.
Some vibrant and exotic colors carry a warranty for adhesion only.

Vibrant Colors**

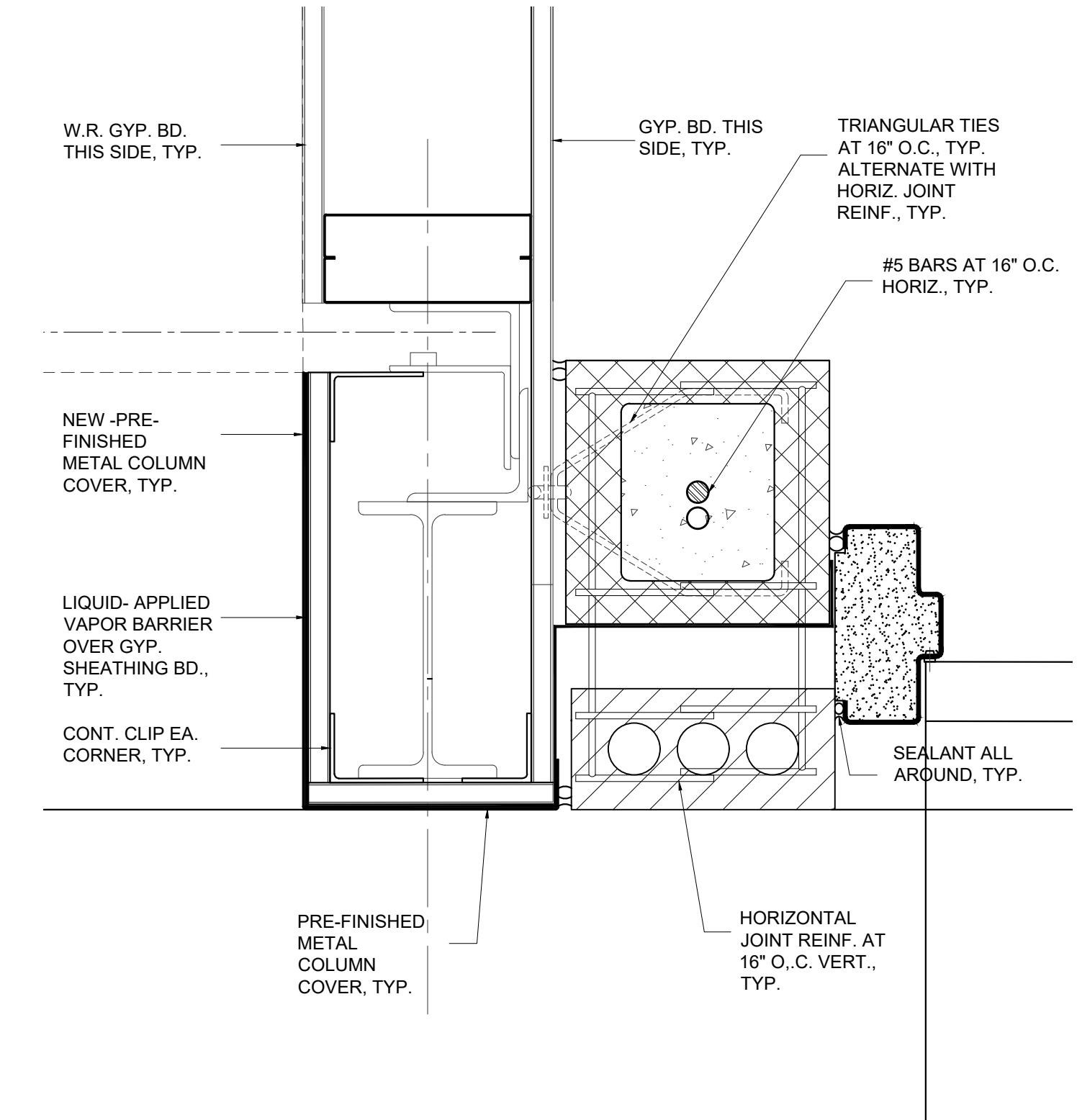
				
GALACTIC DARKNESS SL4A625FP	EGGPLANT SL6A1169FP	YELLOW 393B4927FP	NEON ORANGE 384A3437P	BRIGHT RED SL4A625FP

NOTES:

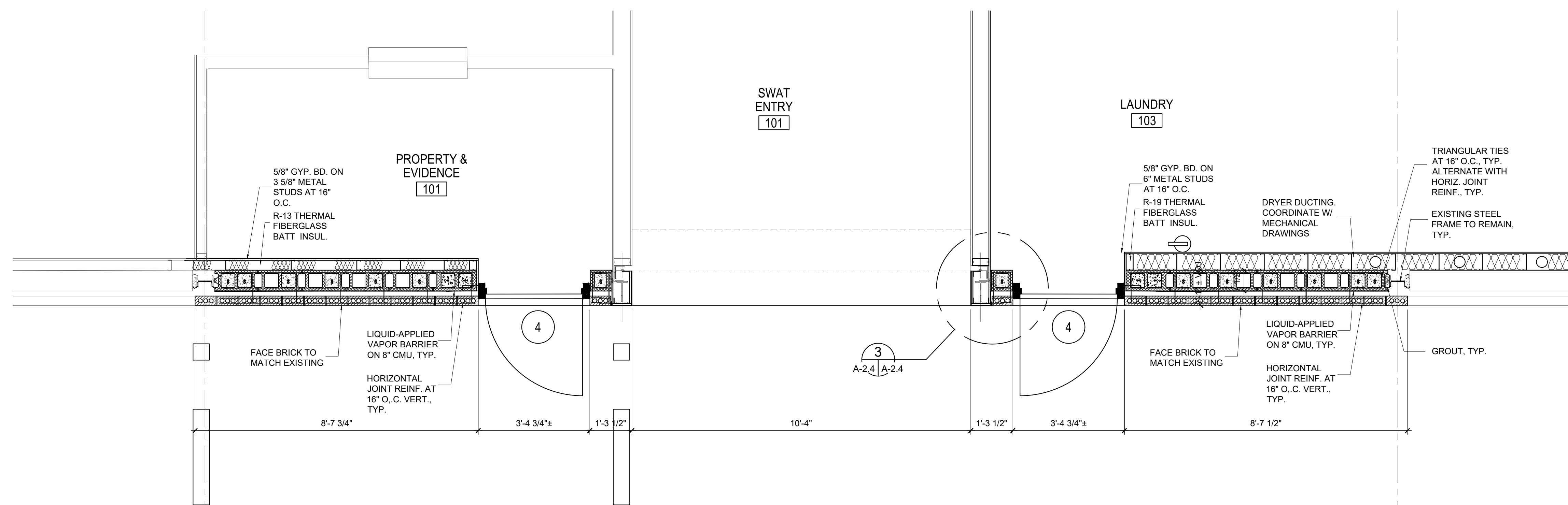
1. DIMENSIONS AR FROM STUD TO STUD UNLESS INDICATED OTHERWISE.
2. VERIFY DIMENSIONS, CLEARANCES, AND CONFIGURATIONS IN FIELD FOR THE OVERHEAD COILING DOOR. MODIFY TO FIT AS REQUIRED.



1
A-2.1 A-2.4
DEMO ENLARGED FLOOR PLAN - PROPERTY & EVIDENCE, WASHROOM
SCALE: 1/2"=1'-0"

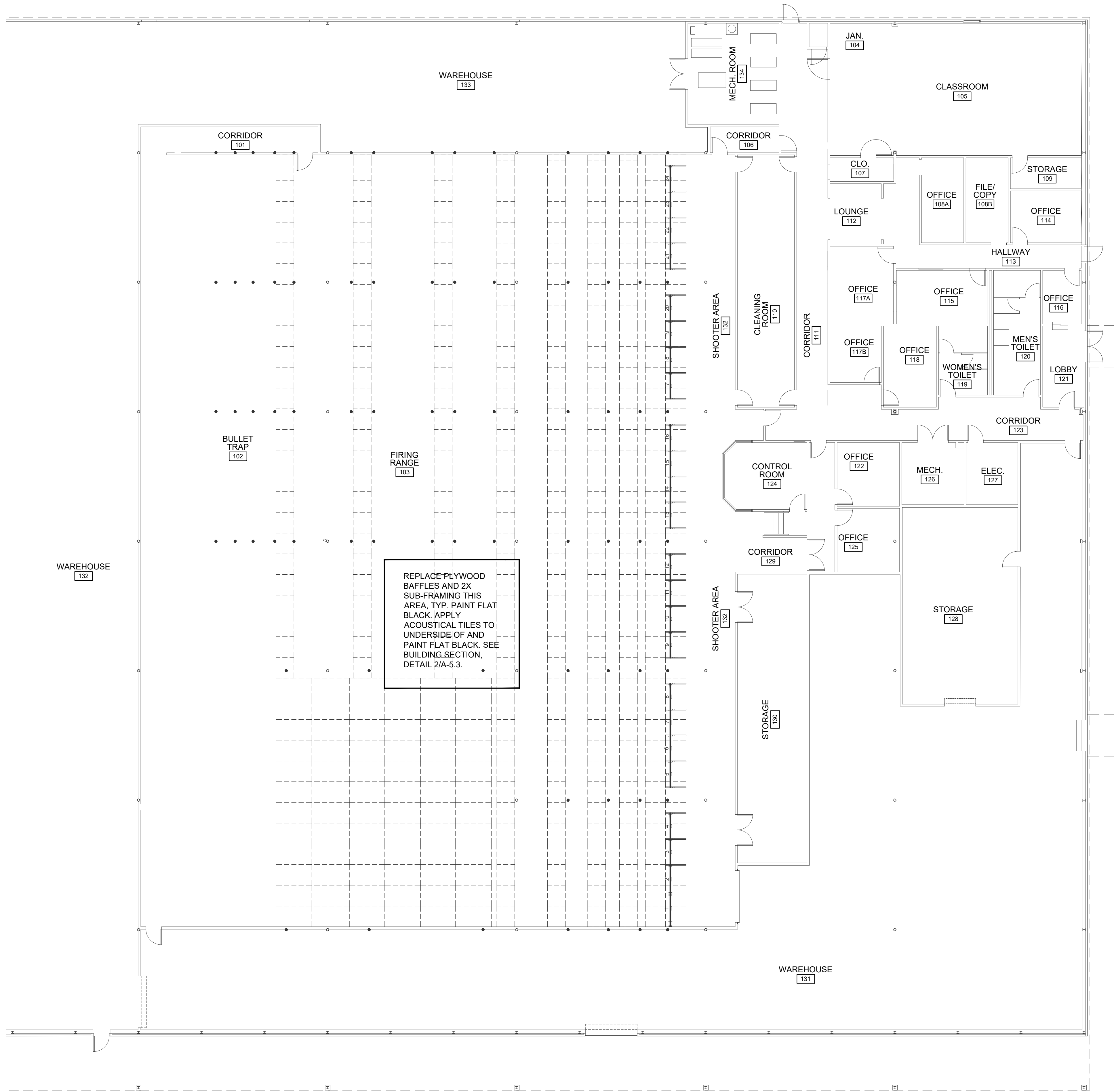


3
A-2.1 A-2.4
DETAIL
SCALE: 3"=1'-0"



2
A-2.1 A-2.4
NEW ENLARGED FLOOR PLAN - PROPERTY & EVIDENCE, WASHROOM
SCALE: 1/2"=1'-0"



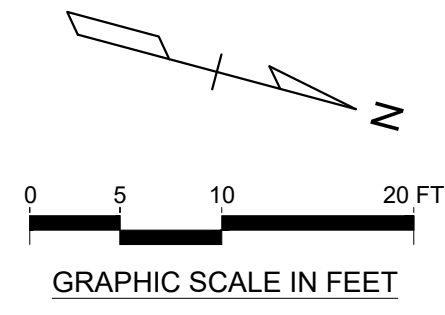


REPLACE PLYWOOD
BAFFLES AND 2X
SUB-FRAMING THIS
AREA. TYP. PAINT FLAT
BLACK. APPLY
ACOUSTICAL TILES TO
UNDERSIDE OF AND
PAINT FLAT BLACK. SEE
BUILDING SECTION.
DETAIL 2/A-5.3.

1
A-2.1 A-7.8

REFLECTED CEILING BAFFLE PLAN - FIRING RANGE

SCALE: 3/32"=1'-0"



1 ADDENDUM NO. 001 BAFFLE PLAN 07/12/23